



City of El Paso – City Plan Commission Staff Report

Case No: PZRZ13-00046
Application Type: Rezoning
CPC Hearing Date: February 13, 2014
Staff Planner: Andrew Salloum, 915-212-1613, salloumam@elpasotexas.gov

Location: 1401 N. Kansas Street
Legal Description: Lots 1 and 2, Block 30, Alexander Addition, City of El Paso, El Paso County, Texas
Acreage: 0.1456-acre
Rep District: 8
Current Zoning: A-2 (Apartment)
Existing Use: Single-family dwelling
C/SC/SP/ZBA/LNC: None
Request: From A-2 (Apartment) to S-D (Special Development)
Proposed Use: Office

Property Owner: Terry W. Hammond
Representative: Morris Brown

SURROUNDING ZONING AND LAND USE

North: A-2 (Apartment) / Single-family dwelling
South: A-2 (Apartment) / Single-family dwelling
East: A-2 (Apartment) / Single-family dwelling
West: A-2 (Apartment) / Single-family dwelling

PLAN EL PASO DESIGNATION: G-2, Traditional Neighborhood (Walkable)
NEAREST PARK: Dunn Park (1,647 feet)
NEAREST SCHOOL: El Paso High School (2,286 feet)

NEIGHBORHOOD ASSOCIATIONS

El Paso Central Business Association
Southside Neighborhood Association

NEIGHBORHOOD INPUT

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on January 29, 2014. The Planning Division received two phone calls in opposition to the rezoning request.

APPLICATION DESCRIPTION

The applicant is requesting to rezone the subject property from A-2 (Apartment) to S-D (Special Development) to allow for office use. Office uses are not permitted in the A-2 (Apartment) zone district. The subject property is 0.1456 acres in size and is currently being used as a single-family dwelling. The S-D (Special Development) zoning district requires minimum site area of 1 acre but can be designated as such by City Council through approval of the detailed site development plan. The detailed site development plan shows an existing 2,607 sq. ft., 2-story, single-family residential dwelling which will be converted to office space. Office uses require 5 parking spaces and the applicant is providing 7 parking spaces and 3 bicycle spaces. If approved, the S-D zoning district requires a detailed site development plan for all uses other than single-family residential. The required Detailed Site Development Plan may be submitted for administrative review per Section 20.04.150 Detailed Site Development Plan. The applicant will submit the application for detailed site development plan for administrative review after the rezoning. The Detailed Site Development Plan is not being considered as part of this request. Vehicular access to the subject property is proposed from

the alley via River Avenue.

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of rezoning the subject property from A-2 (Apartment) to S-D (Special Development). The recommendation is based on the compatibility with the surrounding land uses and in compliance with the Plan El Paso future land use designation, G-2, Traditional Neighborhood (Walkable).

Plan El Paso- Future Land Use Map Designation

All applications for rezoning shall demonstrate compliance with the following criteria:

G-2 – Traditional Neighborhood (Walkable): This sector includes the remainder of central El Paso as it existed through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in this Comprehensive Plan.

The purpose of the S-D (Special Development) district is to provide an opportunity for mixed-use projects, integrated in design, in certain older residential areas where there is a desire to permit a variety of nonresidential uses while maintaining the established residential appearance and landscaping of the area. The regulations of this district are designed to ensure compatibility with existing uses in the district; to permit the production, exhibit or sale of goods and the providing of services to the public in such older residential areas; to protect the traffic capacity of streets serving such older residential areas; to encourage flexibility by prescribing general performance standards for such older residential areas; and to protect the environment of adjacent areas. For the purpose of this district, older areas of the city shall be deemed those areas where development has existed for at least twenty-five years.

COMMENTS:

Planning Division - Transportation

TIA is not required.

Note:

All existing and/or proposed paths of travel (accessible sidewalks, wheelchair access curb ramps and driveways) located within public rights-of-way shall follow the City of El Paso Design Standards for Construction and be ADA/TAS compliant.

City Development Department – Plan Review

No objections.

City Development Department - Land Development

No objections.

Fire Department

No objections to the rezoning case as presented at this time.

El Paso Water Utilities

We have reviewed the zoning change request reference above and provide the following comments:

1. El Paso Water Utilities (EPWU) does not object to this request.

Water:

1. There is an existing 4-inch diameter water main that is available for service along the alley between Kansas St. and Stanton St.
2. There is an existing 6-inch diameter water main that is available for service that extends along Kansas St.

3. There is an existing 6-inch diameter water main that is available for service that extends along River St.
4. EPWU records indicate an active ¾-inch water service connection serving the subject property. The address for this service is 1401 Kansas St.

Sanitary Sewer:

1. There is an existing 8-inch diameter sanitary sewer main along the alley between Kansas St. and Stanton St. This main is available for service.
2. There is an existing 8-inch diameter sanitary sewer main that extends along River St. This main is available for service.

General:

1. EPWU requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Attachments:

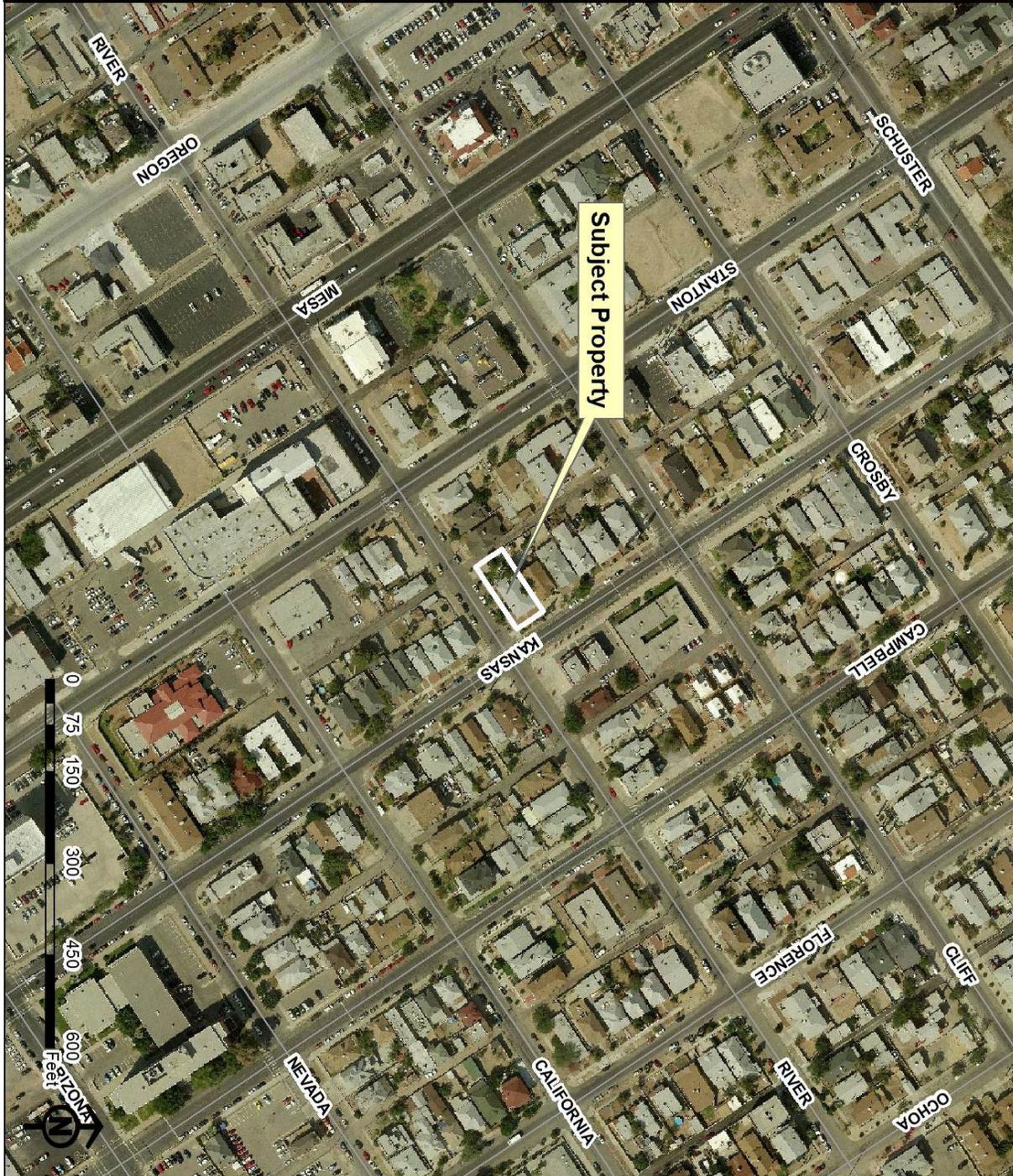
Attachment 1: Zoning Map

Attachment 2: Aerial Map

Attachment 3: Detailed Site Development Plan

ATTACHMENT 2: AERIAL MAP

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ATTACHMENT 3: DETAILED SITE DEVELOPMENT PLAN

