



City of El Paso – City Plan Commission Staff Report

Case No: PZDS13-00022 (related to PZRZ13-00012 and PZCR13-00005)
Application Type: Detailed Site Development Plan Review
CPC Hearing Date: February 13, 2014
Staff Planner: Andrew Salloum, 915-212-1613, salloumam@elpasotexas.gov

Location: North of Medano Drive and East of Desert North Boulevard
Legal Description: Lots 3 and 4, Block 2, Medano Height Subdivision, Replat "A", City of El Paso, El Paso County, Texas
Acreage: 12.202 acres
Rep District: 1
Existing Zoning: R-5/c (Residential/conditions)
Existing Use: Vacant
C/SC/SP/ZBA/LNC: C: Ordinance No. 014596, dated August 22, 2000 (see Attachment #5)
Request: Detailed Site Development Plan Review per Special Development District
Proposed Use: Apartment Complex

Property Owner: The Housing Authority of the City of El Paso
Representative: SLI Engineering, Inc.

SURROUNDING ZONING AND LAND USE

North: R-3 (Residential) / Vacant
South: C-3/sc (Commercial/special contract) / retail; R-3 (Residential) / Single-family dwelling
East: R-3 (Residential) / Single-family dwelling
West: C-3/c (Commercial/condition) / restaurant and retail

THE PLAN FOR EL PASO DESIGNATION: G-4, Suburban (Walkable)

NEAREST PARK: Three Hills Park (4,985 feet)

NEAREST SCHOOL: Hut Brown Middle (5,268 feet)

NEIGHBORHOOD ASSOCIATIONS

Upper Valley Improvement Association
Upper Mesa Hills Neighborhood Association
Coronado Neighborhood Association
Upper Valley Neighborhood Association
Save the Valley

NEIGHBORHOOD INPUT

Detailed Site Development Plan Review does not require public notification as per Section 20.04.520, *Notice of the El Paso City Code*.

CASE HISTORY

On August 22, 2000, City Council approved the rezoning request for the subject property from R-3 (Residential) to C-3/c (Commercial/conditions) and imposed a condition by Ordinance No. 014596 (see Attachment #5) as follows:

1. *Submittal of a detailed site development plan for approval by the City Plan Commission and City Council prior to the issuance of a building permit or certificate of occupancy,*

2. *Construction of an eight-foot high masonry screening wall along the easterly property line shall be required prior to the issuance of certificates of occupancy; the vertical surface of the screening wall, above six feet, must not be less than 75% open,*
3. *A minimum of twenty-foot building setback along the easterly property line shall be required prior to the issuance of a building permit or certificate of occupancy,*
4. *Landscaping within the entire length and width of a minimum ten-foot wide buffer strip along the easterly property line shall be required prior to the issuance of certificates or occupancy and shall be in addition to landscaping required per El Paso City Code. The landscaping shall be included within the required twenty-foot building setback along easterly property line,*
5. *The maximum height of any building or structure within the subject property shall not exceed one story.*
6. *Access from Tuscarora Avenue shall be prohibited.*
7. *Construction of a six-foot high masonry screening wall along the southerly property line along that portion of Medano Drive immediately to the north of the R-3 (Residential) zoned portion of Three Hills Addition, shall be required prior to the issuance of certificate.*
8. *The use of the subject property for: Automobile, light truck, bus, motorcycle and boat, sales, storage, rental and service, billiard halls, bowling alleys, amusement game complex or park, garages, parking or community, parking lot, miniature golf courses, private club, lodge or meeting hall, transportation terminal, theaters, trailer, mobile home, travel trailer and recreational vehicle sales, display and repair, skating rink, outdoor flea market, dance hall heliport, helistop or airpad, massage parlor, or bar, taven or cocktail lounge shall be prohibited. Provided, however, that the sale of alcoholic beverages shall be permitted within the subject property in conjunction with the operation of restaurant, or retail sales for off-premise consumption.*

On July 11, 2006, City Council approved the rezoning request for the subject property from C-3/c (Commercial/conditions) to R-5/c (Residential/conditions). The conditions originally imposed by Ordinance No. 014596, dated August 22, 2000 remained in effect after the rezoning. The conditions are satisfied according to Detailed Site Development Plan Application.

On April 11, 2011, City Plan Commission approved the related Medano Heights Subdivision Replat "A" for single-family residential. As the rezoning is to allow for apartments, the property will have to be replatted.

APPLICATION DESCRIPTION

The request is for a Detailed Site Development Plan Review as required by the special purpose S-D (Special Development) district. The detailed site development plan shows a new 180 unit apartment complex, clubhouse, maintenance building, two swimming pools, sports court, fenced toddler park, fenced pet park, and active courtyard. The applicant proposes five 1-story apartment structures adjacent to the easterly property line, which is the adjacent to a residential zone district. The remaining fourteen 2-story apartment structures will be built throughout the subject property. The development requires 349 parking spaces and the applicant is providing 411 parking spaces and 20 bicycle spaces. Access to the subject property is proposed from Picacho Hills Drive and Medano Drive. This application is related to rezoning application PZRZ13-00012 and zoning condition release application PZCR13-00005.

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of the detailed site development plan request as it meets all the requirements of Section 20.04.150, Detailed Site Development Plan.

ANALYSIS

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists

on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

Note: Detailed Site Development Plan review is required because of a special purpose district and condition on the subject property.

20.04.150 Procedure.

- C. Administrative approval. Detailed site development plans meeting the following conditions shall be reviewed and approved by the zoning administrator:
1. The site is two acres or less in size, and
 2. The site plan contains no more than two buildings, and
 3. The site plan complies with any zoning conditions and all city code provisions, to include the tables for uses and density and dimensional standards and;
 4. The city's department of transportation has no concerns with access or restriction of access to the site; and,
 5. The site plan complies with staff recommendations concerning the location of stormwater drainage structures and easements to include onsite ponding areas; the location and arrangement of structures, vehicular and pedestrian ways; open spaces and landscape planted areas. Staff recommendations shall not require that the site plan have landscaping in excess of what is required under the city code or any zoning condition.

If the zoning administrator does not approve an applicant's detailed sited development plan, the applicant may appeal the decision to the city plan commission. The applicant must file the appeal with the zoning administrator within fifteen business days from the date of the zoning administrator's decision. The zoning administrator shall place the appeal on the city plan commission agenda to be heard by the commission within thirty business days from the date the appeal was received. The zoning administrator shall include the detailed site plan, the appeal, and a summary of the zoning administrator's reasons for disapproving the detailed site plan.

Note: the detailed site development plan review is not eligible for administrative approval, because the subject property is more than 2 acres in size and the condition requires approval by CPC and City Council.

- D. City plan commission approval. Pursuant to this Code, the city plan commission, in addition to the powers and duties identified in this chapter, shall have final authority on approval of all other detailed site development plans, unless a zoning condition, contract provision, other city code provision or state law require the detailed site development plan to be approved by city council.
1. The planning division shall make its recommendations to the city plan commission within thirty days after a complete application is submitted.
 2. The city plan commission shall hold a public hearing at its regular meeting that is within thirty days from receipt of department recommendations.
 3. The commission shall consider the following information when approving a proposed detailed site development plan: the boundaries of the tract proposed for development; location and arrangement of structures; determine if the use conforms to applicable zoning regulations, determine if historic landmark commission approval has been granted for architectural design of all structures if located in a historic district and the design conforms to such approval; location of utility rights-of-way and easements and stormwater drainage; vehicular and pedestrian ways; on-site parking areas; location of open spaces and landscape planted areas.
 4. In no instance shall the city plan commission have authority to vary the yard standards applicable to the district.
 5. The city plan commission shall approve the plan if it complies with all applicable code provisions.

Planning Staff have reviewed the detailed site development plan which meets requirements and therefore are recommending approval.

Plan El Paso- Future Land Use Map Designation

All applications for detailed site plan review shall demonstrate compliance with the following criteria:

G-4 – Suburban (Walkable): This sector applies to modern single use residential subdivisions and office parks, large schools and parks, and suburban shopping centers. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.

The purpose of the S-D (Special Development) district is to provide an opportunity for mixed-use projects, integrated in design, in certain older residential areas where there is a desire to permit a variety of nonresidential uses while maintaining the established residential appearance and landscaping of the area. The regulations of this district are designed to ensure compatibility with existing uses in the district; to permit the production, exhibit or sale of goods and the providing of services to the public in such older residential areas; to protect the traffic capacity of streets serving such older residential areas; to encourage flexibility by prescribing general performance standards for such older residential areas; and to protect the environment of adjacent areas. For the purpose of this district, older areas of the city shall be deemed those areas where development has existed for at least twenty-five years.

COMMENTS:

Planning Division – Transportation

No objections.

General Note:

All existing and/or proposed paths of travel (accessible sidewalks, wheelchair access curb ramps and driveways) within public rights-of-way shall follow the City of El Paso Design Standards for Construction and be ADA/TAS compliant.

City Development Department – Plan Review

No objections.

City Development Department - Landscaping Review

Landscape plan is approved as proposed.

City Development Department - Land Development

No Objection.

Comments:

Grading plan and permit shall be required.*

Storm Water Pollution Prevention Plan and/or permit required.*

Drainage plans must be approved by the City Development Dept. Land Development Section.*

* This requirement will be applied at the time of development.

Fire Department

Recommend Approval of Site Plan Application as presented. NOTE - PZDS13-00022 In accordance with the requirements of the Zoning Code Section 20.04.160 Content of application the Fire Planning Division has reviewed the submitted “Detailed Site Plan for the following: Elevations, Perspective of the building, Dimensions, square footage and height of all structures, Number of dwelling units in Multi- family

structures, and Driveways as applicable to following sections of the fire code; Sections 503 and Appendix D Fire Apparatus Access Roads, Section 903 Automatic Sprinkler Systems, Section 905 Standpipe Systems. When required as per section 905.3.1, 905.4 and 905.5 all fire protections system plans shall be submitted separately to Fire Plan Review for further requirements and comments. The Fire Planning Division has reviewed the submitted Preliminary Site Plan Application as per requirements of the Zoning Code Section 20.04.160 Content of application and has determined that the submission DOES Comply within the zoning regulations.

El Paso Water Utilities

We have reviewed the Detailed Site Development Plan above and provide the following comments:

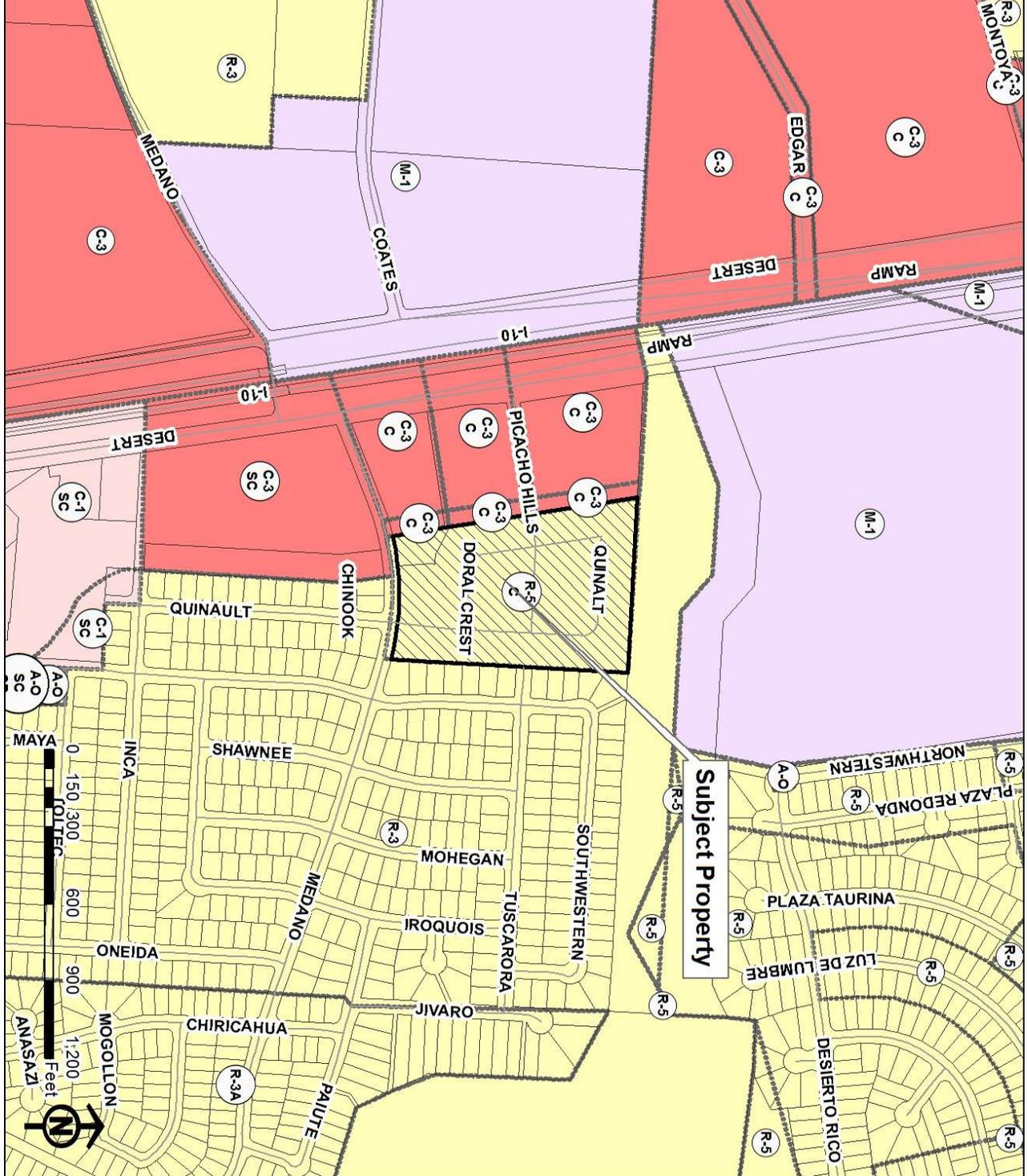
1. The Owner/Developer of Medano Heights entered into a Development Agreement with the El Paso Water Utilities – Public Service Board (EPWU-PSB) to construct water and sanitary sewer mains to provide service to the entire subdivision. On May 24, 2010, EPWU-PSB issued a Partial Final Acceptance letter to the water and sewer mains located along Picacho Hills Court, west of the subject property. Water and sewer mains, appurtenances, and meters were installed by the Developer’s utility contractor within the subject property along the streets vacated with Medano Heights Replat A. These water and sewer facilities are not part of the EPWU-PSB system and they will be available for permanent service after EPWU-PSB issues a letter of Final Acceptance if the developer chooses to proceed with public mains within the development. If private water and sewer systems are preferred, amendment to the existing agreement will be required.
2. If the developer chooses to proceed with public mains, EPWU requires for the existing water and sewer mains within the subject property to follow the alignment of the access roads for the new development, outside of the limits of the parking stalls. PSB easements are to be dedicated to accommodate the water and sewer mains. Close coordination with EPWU-PSB is required. The Owner/Developer is to provide to EPWU engineering a copy of the site plan showing the location of the existing water/sewer service connections, noting on the plans the location of the water/sewer services that are to remain and the location of the surplus water/sewer services that are to be eliminated completely by the Utility Contractor as the result of the new development plan. No Utility work is to be performed until the Development Agreement has been amended.
3. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter within the development a pressure regulator, strainer and relief valve, to be set for pressure as desired by the customer. The Lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.
4. A new application for service is required. New service applications are available at 1154 Hawkins, 3rd Floor. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water lines and appurtenances.

Attachments

1. Zoning Map
2. Aerial Map
3. Detailed Site Development Plan
4. Detailed Site Development Plan, Enlarged
5. Elevations
6. Ordinance No. 14596
7. Ordinance No. 16394

ATTACHMENT 1: ZONING MAP

PZDS13-00022

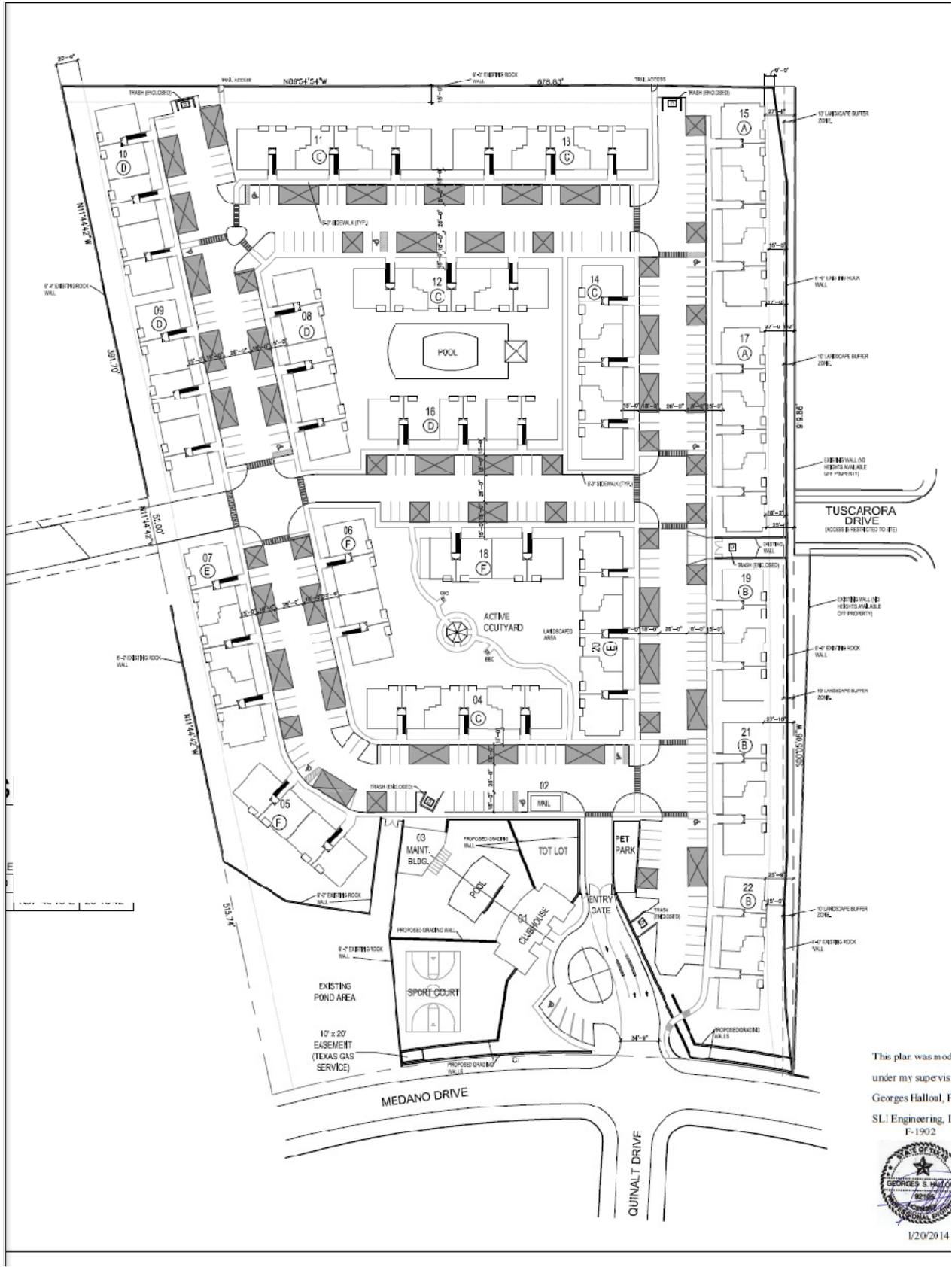


ATTACHMENT 2: AERIAL MAP

PZDS13-00022



ATTACHMENT 4: DETAILED SITE DEVELOPMENT PLAN, ENLARGED

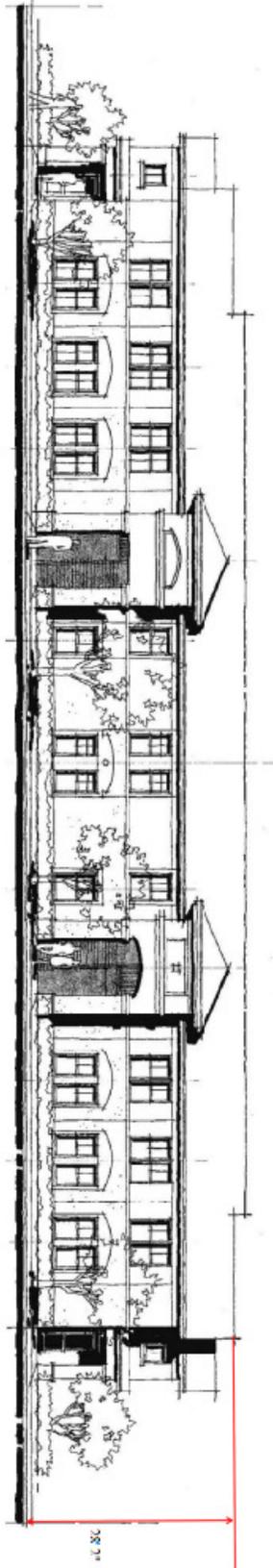
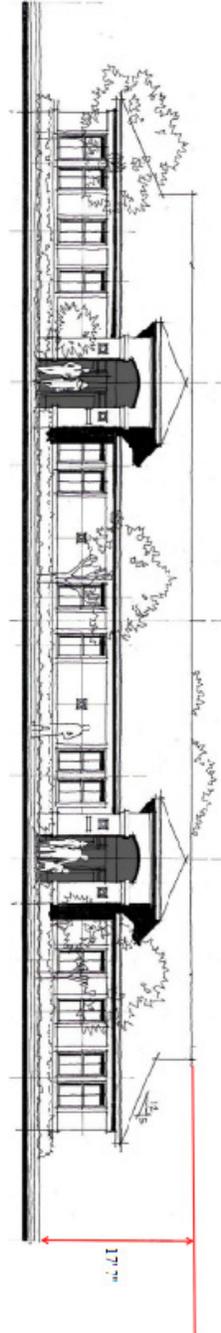


This plan was made
under my supervision
Georges Halloul, F
S.L. Engineering, I
F-1902



1/20/2014

ATTACHMENT 5: ELEVATIONS



ATTACHMENT 5: ORDINANCE NO. 14596

ORDINANCE NO. 014596

AN ORDINANCE CHANGING THE ZONING OF TRACT 13A, S. A. & M. G. SURVEY NO. 266, CITY OF EL PASO, EL PASO COUNTY, TEXAS (5900 BLOCK OF NORTH DESERT BOULEVARD) FROM R-3 (RESIDENTIAL) TO C-3/C (COMMERCIAL/CONDITIONS), AND IMPOSING CERTAIN CONDITIONS. THE PENALTY BEING AS PROVIDED IN SECTION 20.68.010 OF THE EL PASO MUNICIPAL CODE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the zoning of *Tract 13A, S. A. & M. G. SURVEY NO. 266, City of El Paso, El Paso County, Texas*, as more particularly described by metes and bounds in the attached Exhibit "A", be changed **from R-3 (Residential) to C-3/c (Commercial/conditions)** within the meaning of the zoning ordinance, and that the zoning map of the City of El Paso be revised accordingly; and

That the property be subject to the following conditions which are necessitated by and attributable to the increased intensity of use generated by the change of zoning **from R-3 (Residential) to C-3/c (Commercial/conditions)**, in order to protect the health, safety and welfare of adjacent property owners and the residents of this City:

1. Submittal of a detailed site development plan for approval by the City Plan Commission and City Council prior to the issuance of a building permit or certificate of occupancy.

2. Construction of an eight-foot (8') high masonry screening wall along the easterly property line of *Tract 13-A, S. A. & M. G. RAILWAY COMPANY SURVEY NO. 266*, shall be required prior to the issuance of certificates of occupancy; the vertical surface of the screening wall, above six feet (6'), must not be less than 75% open.

3. A minimum of twenty-foot (20') building setback along the easterly property line of *Tract 13-A, S. A. & M. G. RAILWAY COMPANY SURVEY NO. 266*, shall be required prior to the issuance of a building permit or certificate of occupancy.

4. Landscaping within the entire length and width of a minimum ten-foot (10') wide buffer strip along the easterly property line of *Tract 13-A, S. A. & M. G. RAILWAY COMPANY SURVEY NO. 266*, shall be required prior to the issuance of certificates of occupancy and shall be in addition to landscaping required per El Paso Municipal Code Chapter 20.65. The landscaping shall be included within the required twenty-foot (20') building setback along that property line.

5. The maximum height of any building or structure within the subject property shall not exceed one (1) story.

6. Access to *Tract 13-A, S. A. & M. G. RAILWAY COMPANY SURVEY NO. 266*, from and onto Tuscarora Avenue, shall be prohibited.

7. Construction of a six-foot (6') high masonry screening wall along the southerly property line of *Tract 13-A, S. A. & M. G. RAILWAY COMPANY SURVEY*

CJC:pme#71144

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08/15/00

ORDINANCE NO. 014596

Zoning Case No. ZC-00024

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NO. 266 along that portion of Medano Drive immediately to the north of the R-3 (Residential) zoned portion of *THREE HILLS ADDITION*, shall be required prior to the issuance of certificates of occupancy.

8. The use of the subject property for: Automobile, light truck, bus, motorcycle and boat, sales, storage, rental and service, billiard halls, bowling alleys, amusement game complex or park, garages, parking or community, parking lot, miniature golf courses, private club, lodge or meeting hall, transportation terminal, theaters, trailer, mobile home, travel trailer and recreational vehicle sales, display and repair, skating rink, outdoor flea market, dance hall, heliport, helistop or airpad, massage parlor, or bar, tavern or cocktail lounge shall be prohibited. Provided, however, that the sale of alcoholic beverages shall be permitted within the subject property in conjunction with the operation of a restaurant, or retail sales for off-premise consumption.

These conditions run with the land, are a charge and servitude thereon, and bind the current property owner and any successors in title. The City may enforce these conditions by injunction, by rescission of the zoning which is made appropriate as a result of these conditions, or by any other legal or equitable remedy. The City Council of the City of El Paso may amend or release the above conditions in its discretion without the consent of any third person who may be benefited thereby, and without affecting the validity of this Ordinance.

PASSED AND APPROVED this 22nd day of August, 2000.

THE CITY OF EL PASO


Carlos M. Ramirez, P.E.
Mayor

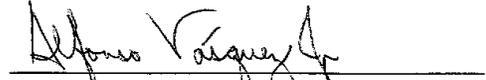
ATTEST:


City Clerk

APPROVED AS TO FORM:


Carolyn J. Celum
Assistant City Attorney

APPROVED AS TO CONTENT:


Alfonso Vázquez, Jr.
Dept. of Planning, Research & Development

(Acknowledgment on following page)

CJC:pmc#71144

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08/15/00

ORDINANCE NO. 24596

Zoning Case No. ZC-00024

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ATTACHMENT 6: ORDINANCE NO. 016394

BC
16394

ORDINANCE NO. 016394

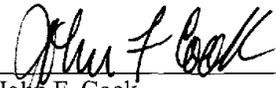
AN ORDINANCE CHANGING THE ZONING OF A PORTION OF TRACT 13A, S.A. AND M.G. SURVEY NO. 266, EL PASO, EL PASO COUNTY, TEXAS FROM C-3/C (COMMERCIAL/CONDITIONS) TO R-5/C (RESIDENTIAL/CONDITIONS). THE PENALTY IS AS PROVIDED FOR IN CHAPTER 20.68 OF THE EL PASO CITY CODE.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the zoning of a *Portion of Tract 13A, S.A. and M.G. Survey No. 266, El Paso, El Paso County, Texas*, and as more particularly described by metes and bounds on Exhibit "A", attached and incorporated by reference, be changed from C-3/c (Commercial/conditions) to R-5/c (Residential/conditions), within the meaning of the zoning ordinance, and that the zoning map of the City of El Paso be revised accordingly.

PASSED AND APPROVED this 11th day of July, 2006.

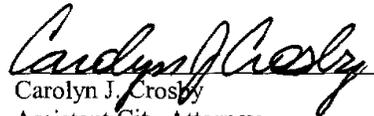
THE CITY OF EL PASO


John F. Cook
Mayor

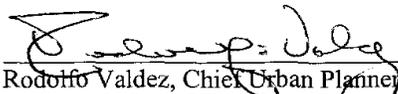
ATTEST:


Richarda Duffy Momsen
City Clerk

APPROVED AS TO FORM:


Carolyn J. Crosby
Assistant City Attorney

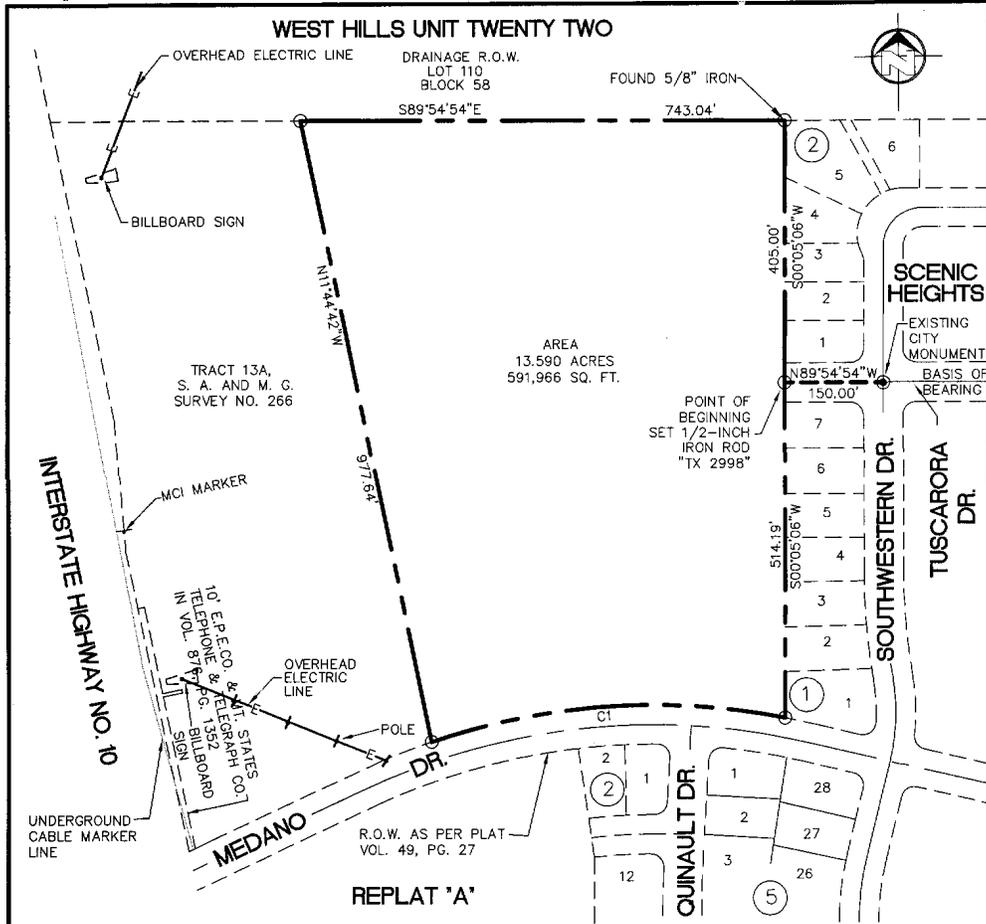
APPROVED AS TO CONTENT:


Rodolfo Valdez, Chief Urban Planner
Development Services Department

DOC #22037/Planning/Ord/13/ZON06-00034/CCRO

ORDINANCE NO. 016394

Zoning Case No: ZON06-00034



CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	1060.00'	550.07'	281.38'	543.92'	S86°06'46"W	29°43'58"

THREE HILLS ADDITION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 480214 0021 D, DATED JANUARY 3 5, 1997, THIS PROPERTY LIES IN FLOOD ZONE C.
 ZONE C AREAS OF MINIMAL FLOODING.
 DUE TO INHERENT INACCURACIES OF FEMA OR FLOOD INSURANCE RATE MAPS THIS SURVEYOR DOES NOT CERTIFY TO THE ACCURACY OF LOCATIONS BASED ON SUCH MAPS. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: UNABLE TO SHOW LOCATION OF EL PASO ELECTRIC CO. EASEMENTS RECORDED IN VOL. 440, PG. 349 AND VOL. 447, PG. 173. EASEMENT ARE GENERALLY DESCRIBED AS BEING IN S.A. & M.G. SURVEY NO. 266.

FOUND 5/8" IRON WITH SLI CAP ON ALL PROPERTY CORNERS UNLESS OTHERWISE INDICATED.

A METES AND BOUNDS DESCRIPTION OF EVEN DATE ACCOMPANIES THIS PLAT OF SURVEY.

Copyright 2006 SLI Engineering, Inc.

This map and survey are being provided solely for the use of El Paso Housing Authority and no license has been created, expressed or implied, to copy the surveys and/or map(s) except as necessary in conjunction with the original transaction. This transaction shall be effective within six (6) months from the date hereon May 26, 2006.

NOTE:
 ALL INFORMATION SHOWN HEREON WITH RESPECT TO UNDERGROUND CONDITIONS, WAS DETERMINED BY DATA COLLECTED THROUGH SURVEY CREW OBSERVATION AND OTHER INFORMATION TAKEN FROM EXISTING PLANS AND MAPS OF RECORD. NO UNDERGROUND UTILITIES EXISTING OR ABANDONED WERE EXPOSED OR LOCATED.

UNLESS SPECIFICALLY ACCEPTED BY SLI ENGINEERING, INC. IN WRITING, SLI ENGINEERING, INC. MAKES NO CLAIM, EXPRESSED OR IMPLIED, AS TO THE UNDERGROUND SITE CONDITIONS.



PLAT OF SURVEY		
<p>SLI ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS 6600 WESTWIND DRIVE EL PASO, TEXAS 79912 915-584-4457</p>	<p>A PORTION OF TRACT 13A, S.A. AND M.G. SURVEY NO. 266, EL PASO, EL PASO COUNTY, TEXAS</p>	<p style="text-align: center;">CERTIFICATION</p> <p>I HEREBY CERTIFY THAT THE FOREGOING BOUNDARY SURVEY WAS PERFORMED UNDER MY SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.</p> <p style="text-align: center;"> GUILLERMO LICON, R.P.L.S. REGISTERED PROFESSIONAL LAND SURVEYOR TEXAS LICENSE NO. 2998 </p>
JOB #: 09-05-2379 DR. BY: AFV SCALE: 1"=200' F.B. #: 1028 DATE: 05/26/2006 DWG.: 13-29AC.DWG	F:\PROJECTS\ MEDANO\WORKING 13-29AC.DWG	