

**ADMINISTRATIVE REVIEW
DESIGN GUIDELINES
COVER SHEET**

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INTRODUCTION TO THE GUIDELINES

Purpose
Enabling Legislation

PURPOSE

In order to provide more rapid service to property owners who desire to make certain changes to their property, an administrative review process has been implemented.

Administrative review will be conducted by the Director of the **Department of Planning and Economic Development**, or his designee, for items deemed more substantial than ordinary repair or maintenance for properties designed by an H-overlay. Such items may require a building permit, but do not warrant review by the Historic Landmark Commission. Such items will be reviewed for approval by the Director or his designee and returned to the **Department of Planning and Economic Development**. The following items will be provided with administrative review:

1. Landscape materials, including vegetation, irrigation and xeriscaping in the front, rear, side yards and parkways;
2. New fencing on the front, rear, and side yards;
3. Wrought iron security coverings for windows and doors;
4. Exterior accessibility ramps;
5. Skylights;
6. Off-premise and on-premise commercial and residential signs within historic districts;
7. Replacement of garage or household exterior doors that match the original doors;
8. Walkways, driveways and aprons;
9. Swimming pools in the rear yard;
10. Routine maintenance, including but not limited to: painting, re-roofing, repair of walks, driveways, fences, and installation of windows.

NOTE: Applicants aggrieved by a decision of the Historic Landmark Commission may appeal to City Council, using the procedure identified in Section **20.20.190**.

ENABLING LEGISLATION

The City of El Paso made a commitment to historic preservation in 1978, when City Council passed the El Paso Landmark Preservation Ordinance Number 6243. City Council found and declared that as a matter of public policy:

“The protection, enhancement, preservation and use of historic landmarks is a public necessity and is required in the interest of the culture, prosperity, education and general welfare of the people.”

The purposes of the ordinance are:

“To protect, enhance and perpetuate historic landmarks which represent or reflect distinctive and important elements of the city’s, state’s, or nation’s architectural, archaeological, cultural, social, economic, ethnic and political history and to develop appropriate setting for such places;”

To safeguard the city’s historic and cultural heritage, as embodied and reflected in such historic landmarks by appropriate regulations;

To stabilize and improve property values in such locations;

To foster civic pride in the beauty and accomplishments of the past;

To protect and enhance the city’s attractions to tourists and visitors and provide incidental support and stimulus to business and industry;

To strengthen the economy of the city;

To promote the use of historic landmarks for the culture, prosperity, education and general welfare of the people of the city and visitors to the city.”

APPLICATION PROCESS

Procedures to Follow by Type of Request
Approval Process for Historic Preservation – Flow Chart
Administrative Review Process
Appeal Process

PROCEDURES TO FOLLOW BY TYPE OF REQUEST

There are two procedures available to property owners making changes to historic properties. In both cases, proposals must comply with existing City Codes and with the Administrative Review Design Guidelines.

ADMINISTRATIVE REVIEW

(Staff review – 5 days or less)

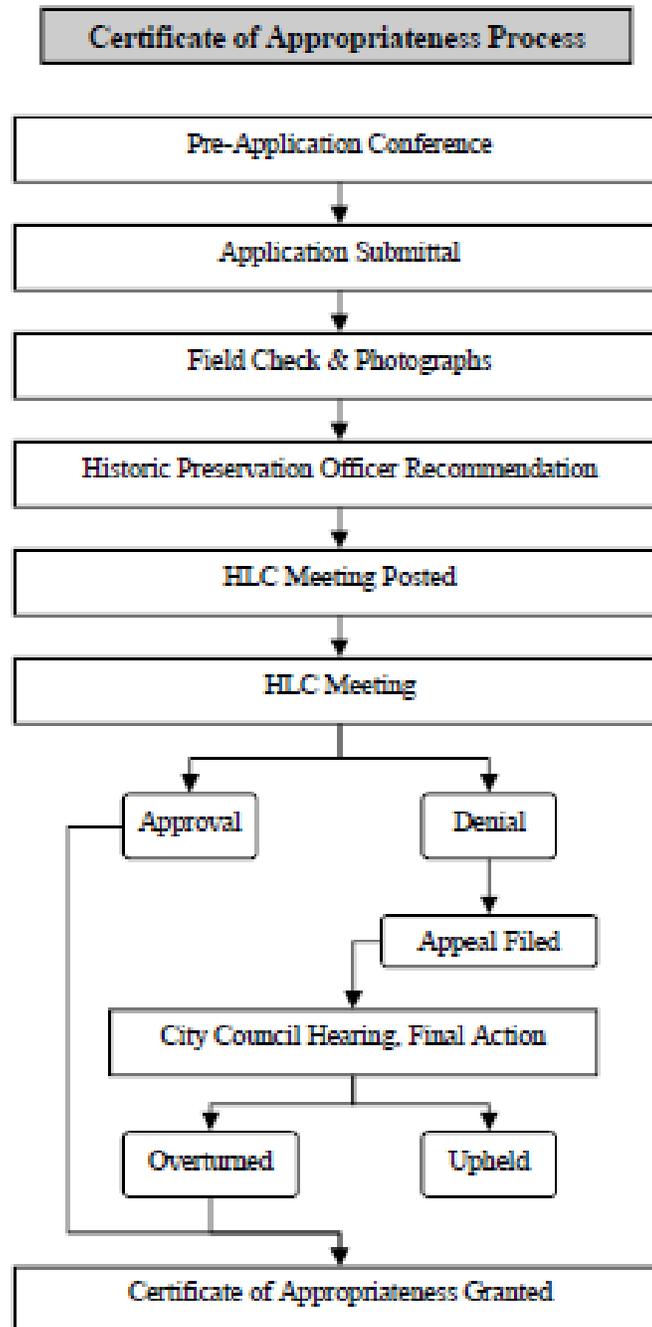
- Landscape materials including vegetation, irrigation, xeriscaping in the front, rear, side yards, including ground cover on parkways.
- Fences: new fencing on the front, rear and side yards.
- Wrought iron: security grills for windows and doors.
- Ramps: exterior accessibility ramps.
- Skylights
- Signs: off-premise and on-premise commercial and residential signs.
- Doors: replacement of garage doors and other exterior doors that match the original doors.
- Concrete: walkways, driveways and aprons.
- Swimming pools
- Routine Maintenance: including but not limited to painting, re-roofing, repair of walks, driveways, fences and installation of windows.

HISTORIC LANDMARK COMMISSION REVIEW

(Public hearing – 30 to 54 days)

- All new construction – residential, commercial and additions.
- Exterior remodeling – changes to facades, porches, garages and appurtenances.
- Demolition – razing of any structure in a historic district or with an H-Overlay.
- Demolition by Neglect – Review and hearing of complaints concerning violation of this ordinance.
- H-Overlay – Review and recommendation of historic properties for designation to the City Council.
- Historic Interiors – changes, beyond normal maintenance, to the following public places:
 1. Camino Real Hotel: original lobby
 2. Cortez Building: lobby
 3. Plaza Theater: all interior
 4. State National Bank: all original interior
 5. Bassett Tower: lobby
 6. U.S. Downtown Post Office: public interior
- Any item failing to comply with approved guidelines or appeals of the Administrative Review Process.

APPROVAL PROCESS FOR HISTORIC PRESERVATION



1. DOCUMENTATION REQUIREMENTS

- A. Fill out an application form from the Historic Preservation section of the Department of Planning and Economic Development, 5th floor, City Hall.
- B. Submit necessary drawings for the intended scope of work.
- C. Documents to include the following:
 - site plan clearly indicating additions, improvements or changes;
 - drawings for new signs, fencing, security grills or swimming pools;
 - photographic samples;
 - description of proposed work, including colors.

2. OUTCOME OF ADMINISTRATIVE REVIEW

- Approval without conditions
- Approval with conditions
- Delayed for complete documentation
- Denial

APPEAL PROCESS

Should the applicant disagree with the decision of the Administrative Review, that person has the right to request an appeal to the Historic Landmark Commission within 15 **calendar** days from the date of review. Such a request must be submitted in written form.

ADMINISTRATIVE GUIDELINES FOR HISTORIC PROPERTIES

Landscaping
Fencing
Security Grills
Accessibility Ramps
Skylights
Signs
Doors
Driveways and Walks
Parkways
Swimming pools
Exterior Windows
Colors

LANDSCAPING

*Vegetation, irrigation, xeriscaping, and desert landscaping
in the front yard, rear yard, side yards and parkway.*

The purpose of this section is to preserve, protect and enhance the ecological and aesthetic environments of El Paso's historic landmarks. The following recommendations are made to promote and encourage the planting of plant materials with low water requirements. Our yards do not have to be devoid of trees and other plants to be water smart. Grass and sod may be removed from front yards, side yards on a corner and parkways provided not more than 50% of the area is covered with gravel or other masonry. Except for walks and driveways, concreting of lawns is *not* recommended. Rear yards, especially those that are hidden from view by fencing, may be more extensively covered by an impervious surface. Parking is prohibited on parkways and is *not* recommended on front lawns. (Section 20.20, Historic Landmark Ordinance).

Manhattan Heights, Sunset Heights, and Old San Francisco historic districts are also on the National Register of Historic Places. The Secretary of the Interior's Standards for the Treatment of Historic Properties recommend preserving streetscape and landscape features which are important in defining the overall historic character of the neighborhood. Such features can include streets, alleys, paving, walkways, street lights, signs, benches, parks, gardens, and trees.

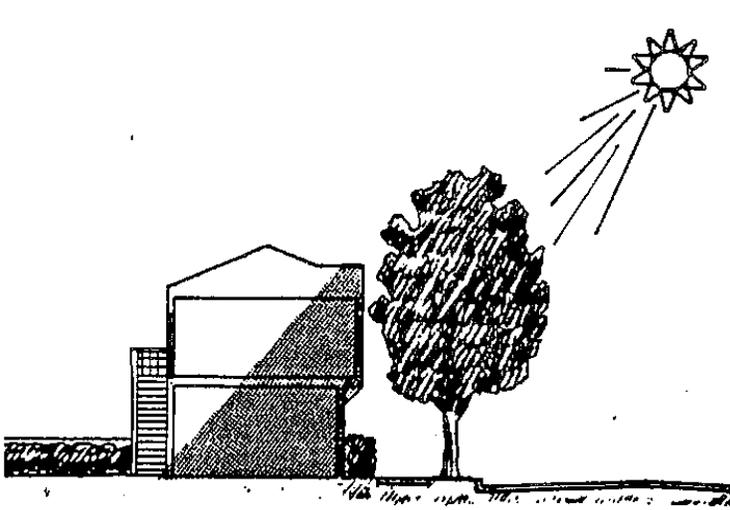
Understanding how the sun's rays move across your site will enable you to use solar radiation, not fight the placement of deciduous plants to shield hot southern and western exposures can help keep your house cool in the summer. During winter months, deciduous plants lose their leaves; this affords your house additional sun exposure. Sun angles at different times of the year produce different shadow lengths. Keep these in mind when determining proper plant placement. In arid areas, eastern exposures are optimal areas for gardens and high activity areas. This is because the sun's rays are not as direct or intense as they are later in the day. Therefore more moderate climatic conditions occur.

Plants can be used to buffer a residence from hot summer sun as well as from harsh winds, dust, noise, pollution and undesirable views. Buffers of plants often provide transition areas from wide open spaces to more interior personal spaces. Entry ways affected by harsh winter winds or solar exposure are excellent areas for buffer use.

Plants must be planted while at mature growth; they must meet EPA calculations based on plant size and quantity; and they must be third category (decorative) plants.

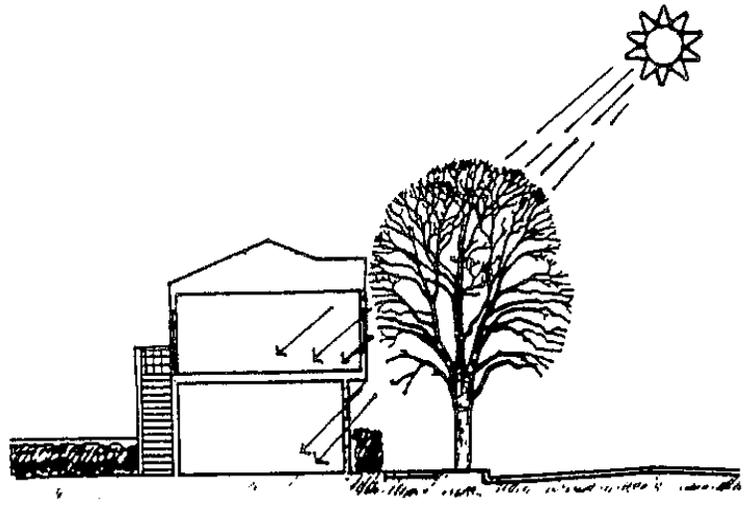
In recent years, inorganic materials (e.g. rock, stone, etc.) have become increasingly popular to use as landscape materials. This is due to their relatively low maintenance requirements and their aesthetic compatibility with the desert landscape. The selection and placement of rock and stone materials in residential yard areas is particularly important from the standpoint of solar radiation, it is important to remember that all rock tends to retain heat (i.e. it serves a heat sink) for relatively long periods of time. Such retained heat can increase utility bills for cooling in the summer. Therefore, if rocks are used in a landscape, locate them away and preferably downwind from the residence, or place them under deciduous plant materials.

SOLAR RADIATION



SUMMER

A CALCULATED OVERHANG PREVENTS THE HIGH SUMMER SUN FROM PENETRATING THE SOUTH FACING WINDOWS. DECIDUOUS TREES LOCATED ON THE SOUTH SIDE ASSIST IN PROVIDING DESIRED SHADE.



WINTER

LARGE AREAS OF SOUTH-FACING GLASS PERMIT RAYS OF LOW-LYING SUN TO PENETRATE HOME WHERE RADIANT HEAT IS TRAPPED. THE FLOOR AND INTERIOR WALLS OF THE HOUSE STORE THE HEAT; AND CONDUCTION AND CONVECTION DISTRIBUTE THE HEAT NATURALLY THROUGH THE HOUSE.

(insert Summer and Winter examples of solar radiation)

INORGANIC MATERIALS. The use of rock and stone is appropriate in many residential landscapes if carefully planned. Grass and sod may be removed from front yards, side yards on a corner and parkways provided not more than 50% of the area is covered with gravel or other masonry. But, overuse can quickly create an adverse "hot box" situation. Avoid placing rock materials in areas immediately adjacent to the house since rock will absorb heat and transfer it ultimately to your house. Use different plant materials (i.e. dwarf lantana) instead that can substitute as a pleasing and low maintenance alternative and still provide a cooling effect for a residence. The placement of rock materials under deciduous plant materials and up-wind from your house will create a heat source for your house during winter. In summer, the deciduous plant materials will shade the rock material and keep it from absorbing heat. By using inorganic materials and

plant material, you will have less lawn areas to maintain and the opportunity to create some interesting landscape designs.

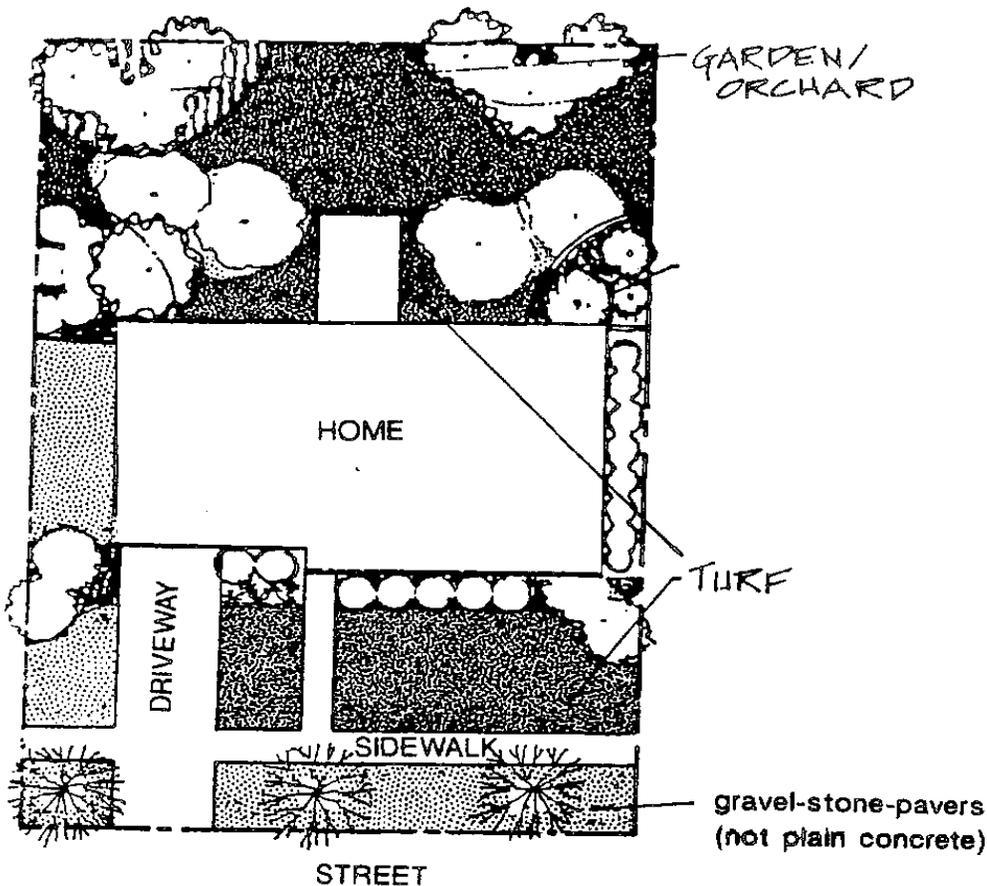
SUGGESTED LIST

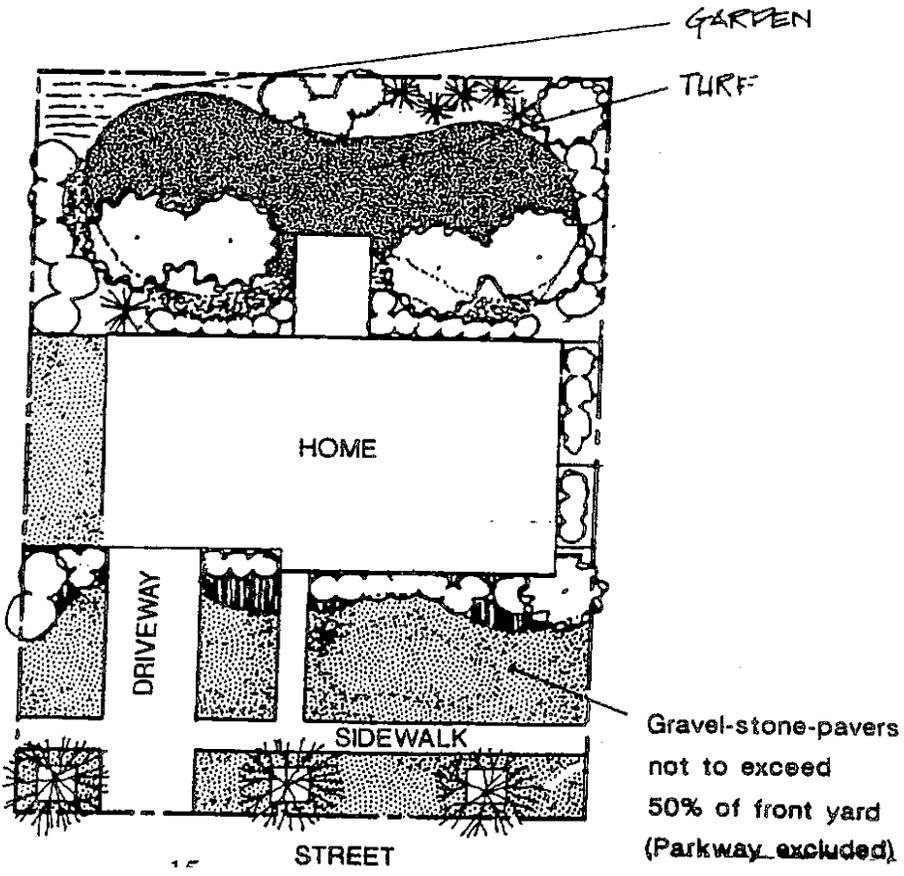
The following lists are not intended to be comprehensive, and other plant materials may be available.

Tree(s) installed as replacement trees should be tree(s) of native species and should be planted at grade or ground level. Please refer to the following lists for recommended tree species: El Paso Water Utility, El Paso County Exterior Service, El Paso Native Plant Society, the West Texas Urban Forest Council, and UTEP's Chihuahuan Desert Gardens.

NOTE: Landscaping proposed for parkways, rights of way, and other areas where vegetation might obscure traffic sight distances, must get approval from the Department of Transportation and must comply with City Ordinance.

Examples of landscaping for desert climates





FENCING

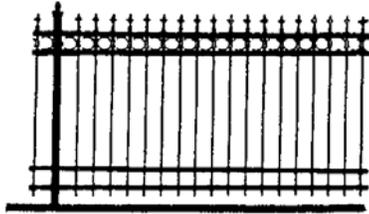
If fencing is to be used, it should be incorporated into the overall design. Construction of new fences and replacement of older-existing fences should be of compatible materials, in order to complement the building and the neighborhood. Brick, stucco, cinder block and/or concrete masonry units covered with stucco, stone and wrought iron, are generally acceptable materials but each case will be reviewed individually. For instance, brick and wrought iron are appropriate fencing materials. Wood fencing is also appropriate in some of the older districts such as Magoffin and Sunset Heights. Fencing on interior side yards may be built to the maximum allowed by ordinance.

Uncovered cinder block or concrete masonry units and chain link are not historic materials and are subject to review and approval by the Historic Landmark Commission. PVC, aluminum and other contemporary alternative wall or fence materials are generally not allowed in the historic districts. However, an applicant may provide a drawing, photographs and samples of proposed materials for review by the HLC under the standard HLC review procedures.

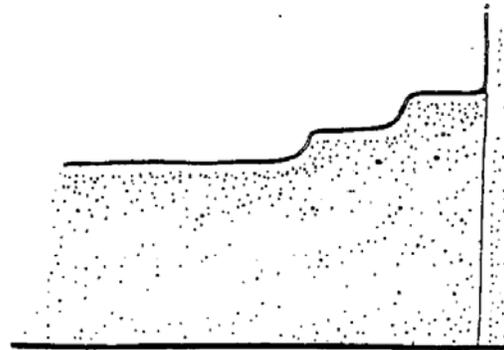
The design of the proposed fence should complement the structure and should not obstruct the street's view of the building. *"No person shall construct or reconstruct, or cause to be constructed, any fence or wall on a corner lot if the top of such fence or wall is more than three feet above the level of the centerline of the nearest abutting street, and such fence or wall is within a triangle formed by the intersecting property lines and a line joining the property lines at points twenty feet from their point of intersection. Provided, this subsection shall not apply to a retaining wall necessary for the support of the lot, nor to a wall of a building when the building legally extends into such triangle."* (Chapter 12.68.020 City Ordinance) get new code***

Any proposed fence higher than 32" solid or 48" open, measured from ground level, at the front property line or side yard property line on a corner lot, shall be reviewed by the HLC.

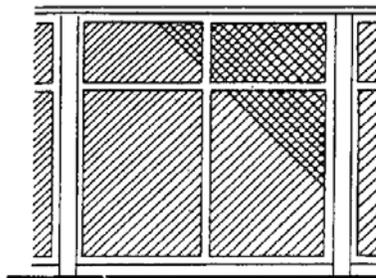
Any proposed fence higher than 8 ft., between buildings on an interior property line or across the rear property line, shall be reviewed by the HLC. Current code allows an interior or rear property line fence up to 10 ft. as long as 75% of it remains open.



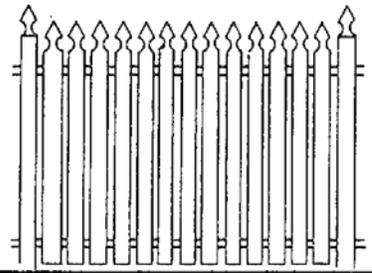
Free standing wrought-iron fence



Stucco on masonry wall

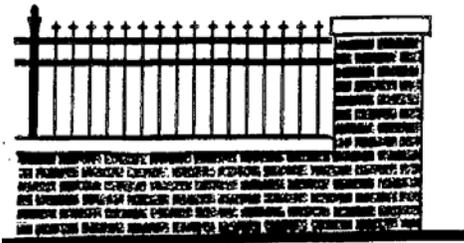


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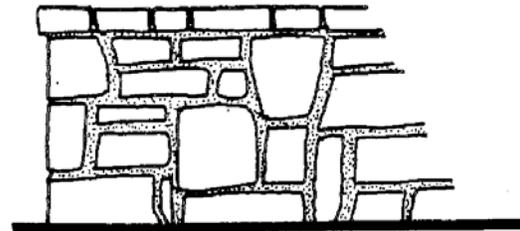


COLONIAL

FENCING



Brick with wrought-iron



Stone

RECOMMENDED FENCING BY DISTRICT

Fencing material will be determined on a case by case basis and the fencing material must be compatible with the building.

HISTORIC DISTRICT	WROUGHT IRON	MASONRY	WOOD	STUCCO
Ysleta	**	**	**	**
Mission Trail	**	**	**	**
Austin Terrace	**	**		
Manhattan Heights	**	**	**	
Sunset Heights	**	**	**	
Old San Francisco	**	**		
Downtown	**	**		
Magoffin	**	**	**	
Chihuahuita	**	**		**

These are typically recommended fencing by the district to be determined on a case by case basis based on materials compatible with the architecture.

SECURITY GRILLS

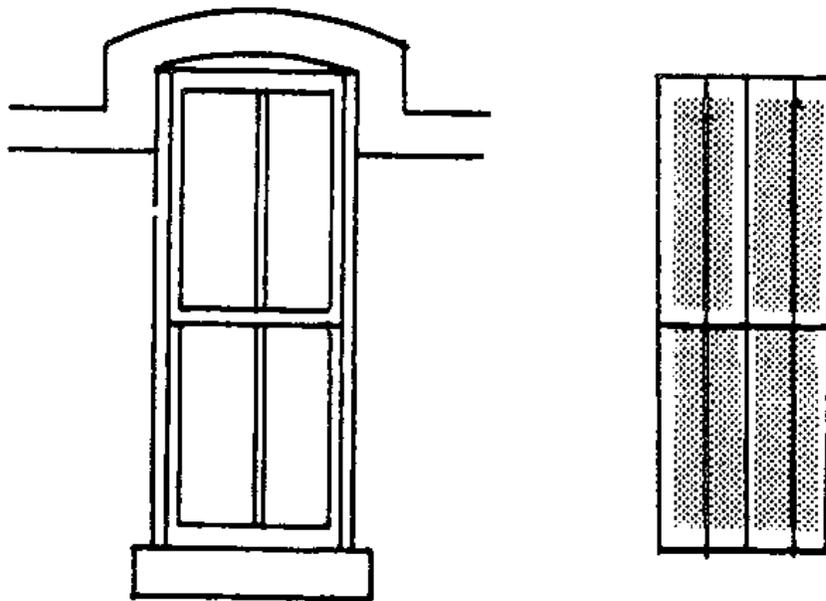
Security in El Paso in Historic Districts has become an important factor for citizens to contend with. The security measure most visible throughout the city are “security bars.” Originally, bars and grill work were more of a decorative treatment found in Mediterranean style architecture. Regardless of whether bars are used for security or decoration, improper design and color can adversely affect the architectural style and design of a façade.

Bars can also be mounted within the window opening on the exterior of the building. Each case will be considered individually in order to determine the impact of bar installation on the structure.

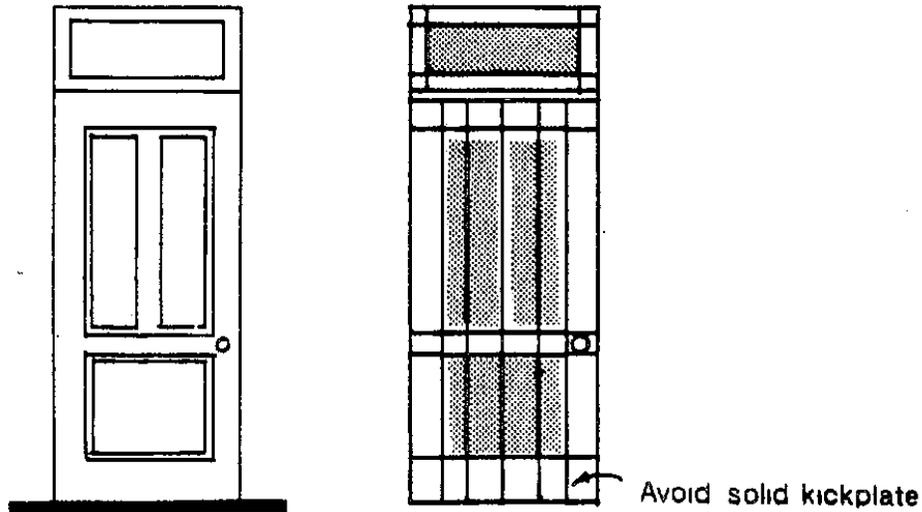
All proposals to enclose front porches should be reviewed by the Historic Landmark Commission. They are not recommended.

Simple bar design will complement a structure far better than ornate patterns. Matte black or other dark colors are recommended. Bars should follow mullions of windows or equal divisions of light.

A permit for security installation must be obtained from the **Department of Construction Management**. The city will approve only those grill designs, in which the grills over the bedroom windows can easily be pushed open from the inside. This is a precautionary measure in case of fire **so that a firefighter can gain access to the interior of a building.**



Space bars to coincide with vertical & horizontal mullions

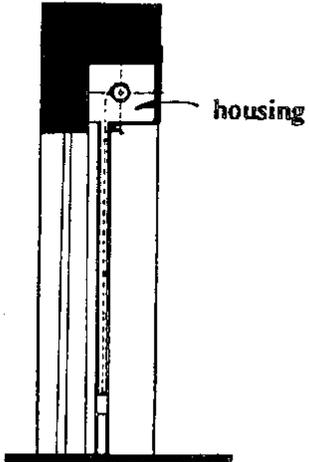


Space bars to coincide with lights and panels of door

Metal roll-down security grills are permitted on commercial properties.

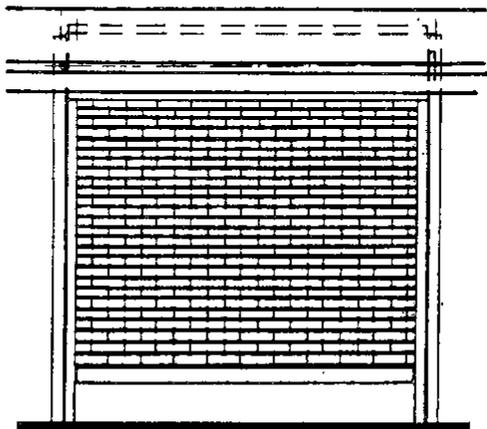
- Security grills are limited to roll-up screens, doors, and grills and shall be incorporated and concealed by a storefront awning or otherwise integrated into the design of the building facades. If the roll up screens cannot be concealed by an awning, the proposed design shall be reviewed by the HLC under the standard COA procedures.
- Devices housing mechanisms must not be visible.
- The curtain itself shall be of an *open mesh* design. Solid curtains are not allowed.
- Manufactured anodized finishes are recommended.

HIDE HOUSING IN EXTERIOR WALL

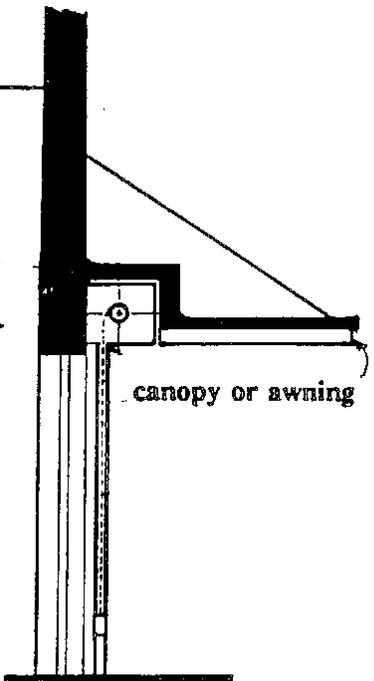


Wall section

HIDE HOUSING UNDER CANOPY OR AWNING



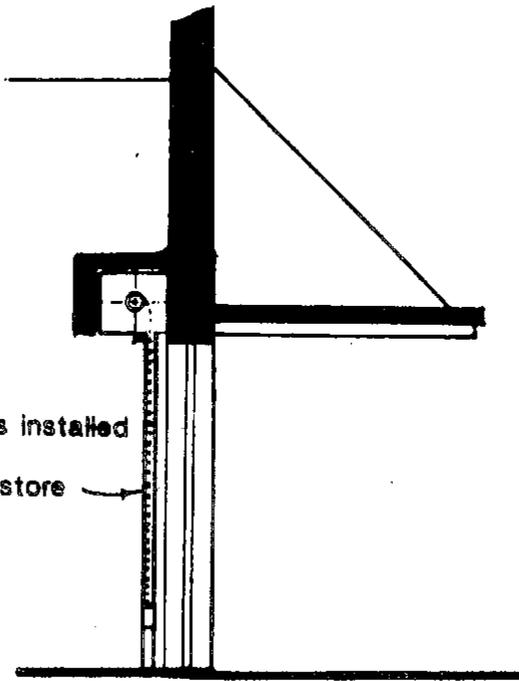
Front



canopy or awning

Wall section

Security grills installed
inside of store



ACCESSIBILITY FOR PEOPLE WITH DISABILITIES/PERSONS WITH SPECIAL NEEDS

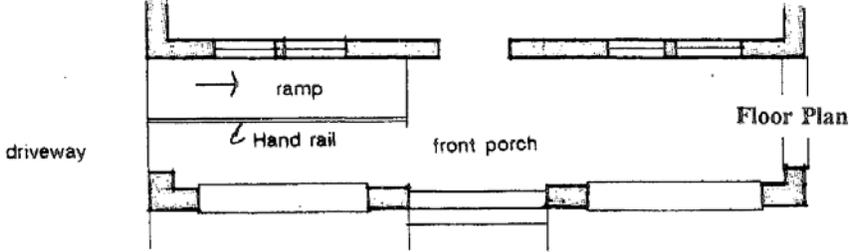
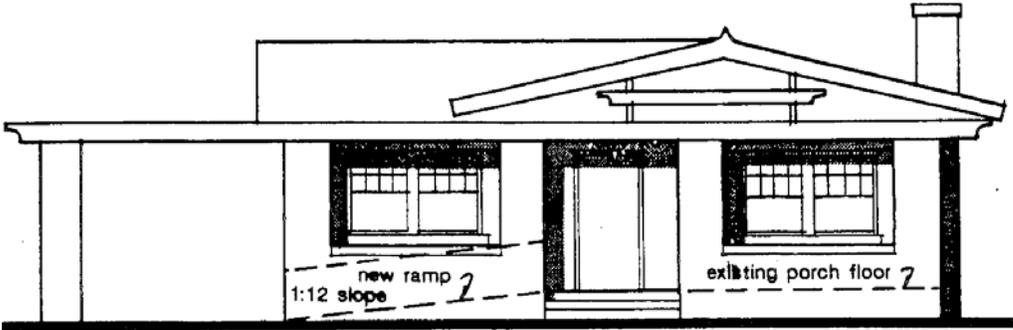
The El Paso Building Codes require all new and existing buildings *open to the public* to meet basic levels of accessibility for people with disabilities. Existing private residences are excluded from this Act. However, there are disabled persons living in historic houses that may request accessibility to their property.

The ideal would be to preserve historic structures without restricting access to them. It is recommended that ramps be designed and placed where they will do the least amount of change to the historic fabric, especially the street elevation (REMOVE). For example, in the case of a bungalow, the ramp might be constructed inside the front porch, leading from the side driveway to the front door. Every historic residence is different and a full range of alternatives should be considered in removing architectural barriers.

Ramps shall be installed parallel to the façade and screened from view with landscaping. Temporary ramps (portable) may be used for 6 months (REMOVE). Installations which differ from these guidelines may be granted by the Historic Landmark Commission. The goal should be a responsible balance between accessibility and preservation and to reconcile these challenges with care and sensitivity.

All applications must also be reviewed and approved for compliance with the accessibility standards by the Department of Public Inspection (REMOVE).

Elevation Plan



SKYLIGHTS

Small skylights up to 24" x 24" may be installed on sloping roofs (not mansards) on the rear portion of the roof. In addition, larger sizes may also be considered for flat roofs or other roof conditions. Please note that cutting rafters for larger skylights may weaken the roof structure. Skylights shall not be visible from the public right-of-way.

Skylights visible from the street shall be reviewed by the Historic Landmark Commission.

SIGNS

“Sign” means any outdoor display surface, structure, search light, banner, pennant, balloon or other device visible to vehicular or pedestrian traffic on a public right-of-way **or building facade** and used to direct attention to any business, product, commodity, entertainment or service, whether by means of words, letters, numerals, trademarks, pictures, designs, objects or by any other means. (20.02.692, General Provisions and Definitions) Chapter 20.66 of the El Paso Municipal Code specifically regulates design, color, material, height, location and size of signs within the city. There are two types of signs: on-premise (those signs advertising the actual business) and off-premise (billboards).

These guidelines present recommendations for both signage types, and cover a few of the basic sign regulations only. A copy of the sign ordinance pertaining to historic structures is included in the Appendix and should be reviewed before making any decisions.

LOCATION – In respect to historic districts, Chapter 20, Section 66.230 of the sign ordinance specifically identifies areas restricted from signage:

“No off-premise signs are permitted within the boundaries of the historic district and no off-premise signs shall be installed within 250 feet of the center line of streets forming the boundaries of the historic district.” (For existing nonconforming signs, refer to Chapter 20 Section 66.150 of the sign ordinance.)

Signs shall not hide, remove, alter, destroy or cover any significant detailing and/or architectural features of the building. On-premise signage should not cover windows, doors, or air vents. On-premise signs should be located in close proximity to the activity it is identifying. In most cases, the best location is usually above, on and/or near the front door.

SIZE – Signs shall not exceed thirty square feet in all commercial and manufacturing districts, and should not exceed six feet in height **in relation to the size of the building or proportionate to the size of the building.**

MATERIALS – Signs constructed for landmark buildings or sites must be made of materials attributed to the era in which the building or site was constructed. Plastics are not permitted.

NUMBER – For single tenant buildings there may be a maximum of one sign for each street frontage per landmark structure or site. For multi-tenant buildings, one sign is allowed for each store front tenant.

ILLUMINATION/MOTION – Neon is permissible if implemented appropriately. Flashing, backlit, intermittent or moving lights or lights are prohibited. Twirling and/or revolving signs are prohibited. **LED (Light Emitting Diode) signs require HLC review and approval.**

COLORS – Colors should complement the building and/or the surrounding area. Fluorescent colors are not permitted.

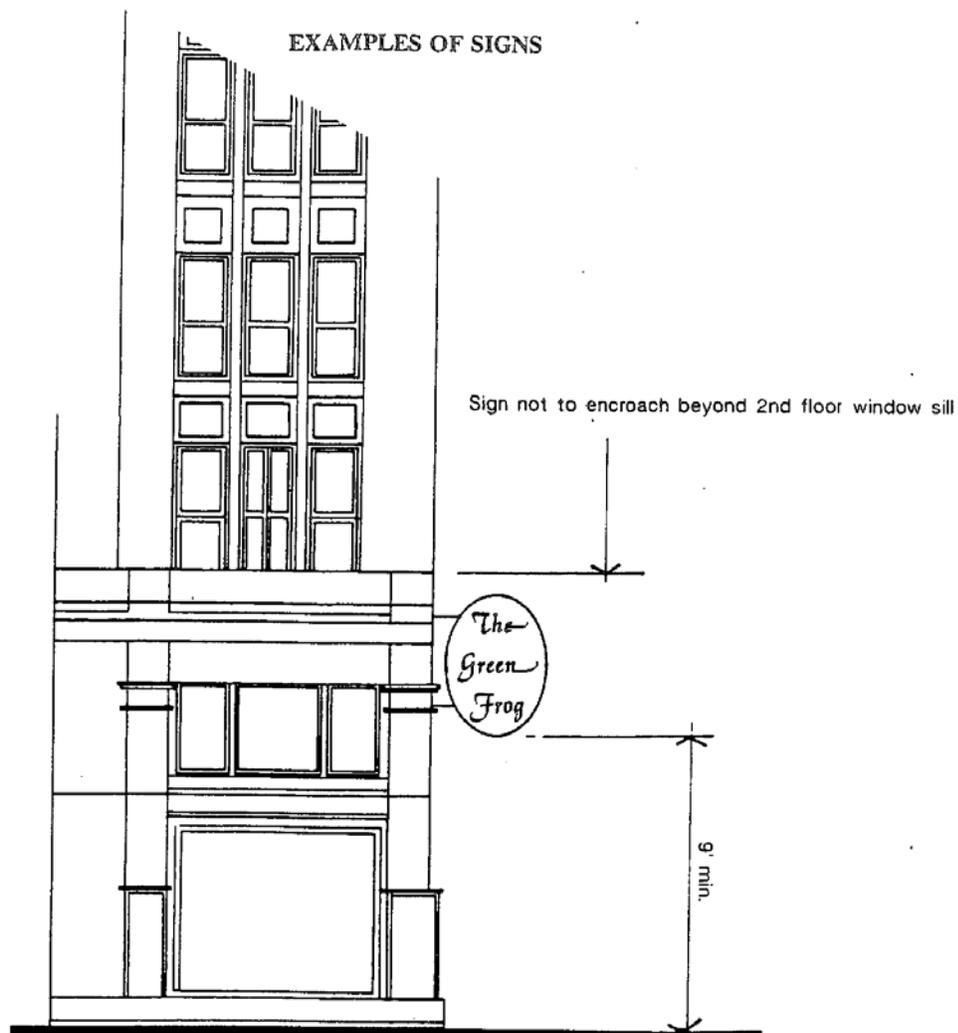
DESIGNS – Designs, including all lettering, should be artistic, innovative, yet compatible with the building and/or the surrounding area. Lettering should not exceed 40% of the total area.

PROCEDURE – Once the sign meets all other City Codes, then the sign will be reviewed either administratively or by the Historic Landmark Commission for compatibility with the building and the streetscape.

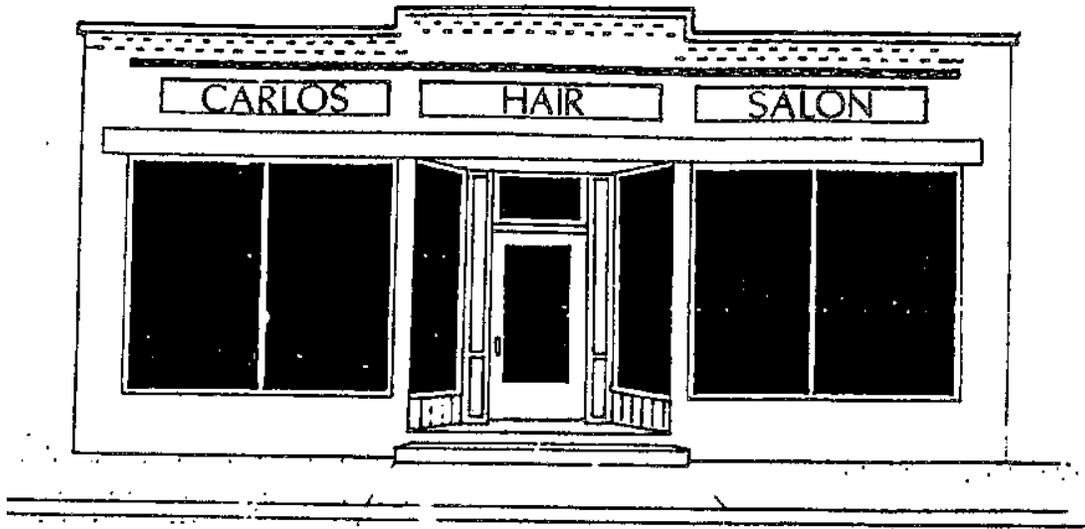
ADMINISTRATIVE REVIEW – All signs on buildings rated as contributing or non-contributing in Historic Districts.

HISTORIC LANDMARK COMMISSION REVIEW – All signs on buildings listed as Landmarks on Historic Preservation maps. Signs for contributing or non-contributing buildings that do not meet the requirements of this section.

PROJECTING SIGNS – Double-faced projecting wall signs must have a minimum nine foot clearance between the bottom of the sign and the ground level.



Signs encroaching into or over City right-of-way, such as the sidewalk, require approval of a **Special Privilege**.

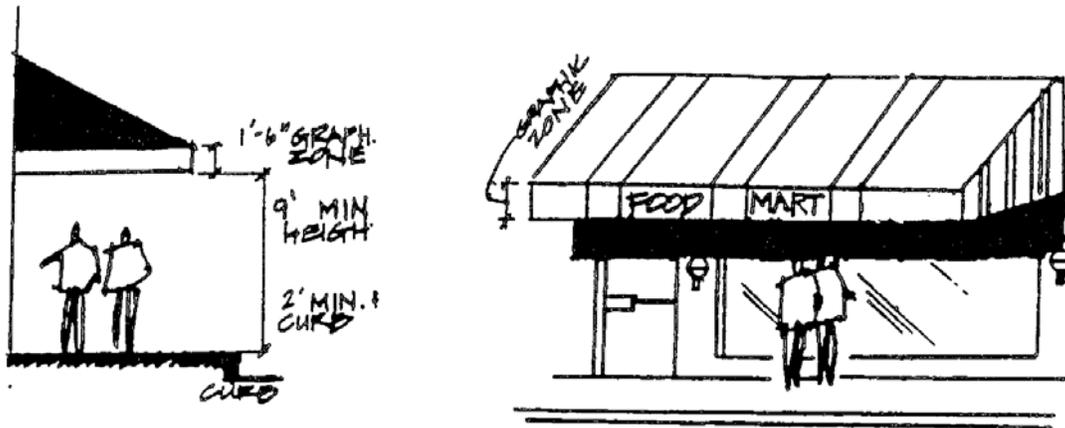


WALL SIGNS – A minimum border of three feet is required between the sign and the sides and the top of the building wall. There must be a minimum clearance of at least eight feet, between the bottom of the sign and the ground level of the building wall.

Signs mounted perpendicularly to the front façade of the building should not be attached above the sill of the second story window. Signs may be placed on bland wall surfaces only.



FREESTANDING SIGNS – These signs may be placed in the front yard no closer than 5 feet to the property line; the setback shall be 15 feet where the property line is located at the curb line. There must be 35 feet of spacing between freestanding signs. Signs shall be pedestrian oriented and should not detract from any historic landmarks. Freestanding auxiliary signs should not exceed 2.5 feet in height and 3 square feet in area.



AWNINGS – The installation of awnings cannot obscure, remove, damage, destroy, alter, or hide architectural decorative or historic fabric. Awnings made of fabric are more appropriate. Colors should coordinate and compliment the building, adjacent buildings and the general vicinity. Signage should be limited to the drop flaps of the awning. Signs encroaching into or over the City right-of-way, such as the sidewalk, require approval of a Special Privilege. Awnings must be maintained properly so they don't fall into disrepair.

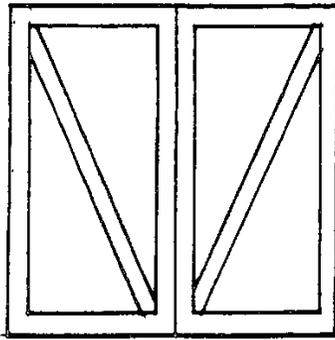
BANNERS – Permanent banners are prohibited and are not allowed by Chapter 20.18. Provisional banners may be used for a period *not to exceed* 10 days for grand openings and charitable functions only (REMOVE). Banners must follow the current city code.

DOORS

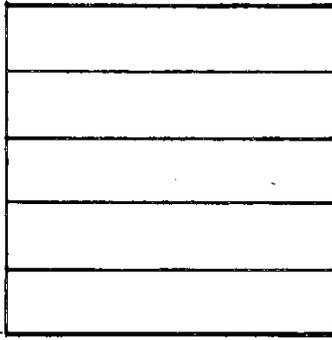
GARAGE DOORS – Garages were uncommon in the oldest historic districts and usually were found only in the largest homes as carriage houses. Even in the districts developed in the 20s and 30s, garages were detached and placed at the rear of the lot. Original garage doors were solid heavy wood doors that were either of a bi-fold design or rolled out on a rail.

These doors may be replaced with modern overhead doors provided:

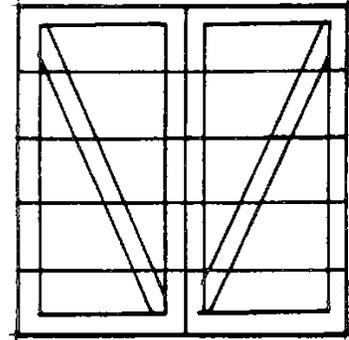
- Garage doors facing the alley may be replaced without modification.
- Garage doors facing the front or side street may be replaced with overhead doors that are modified with dimensional trim to simulate the original door components.
- Contemporary garage doors are also available that simulate traditional or historic garage door patterns and configurations.



Original door



New replacement door



New door with wood plant-ons

EXTERIOR DOORS

All exterior doors, especially entrance doors, are important elements contributing to the character of facades. Proportion, composition in elevation, detail and trim are all essential to the overall scheme.

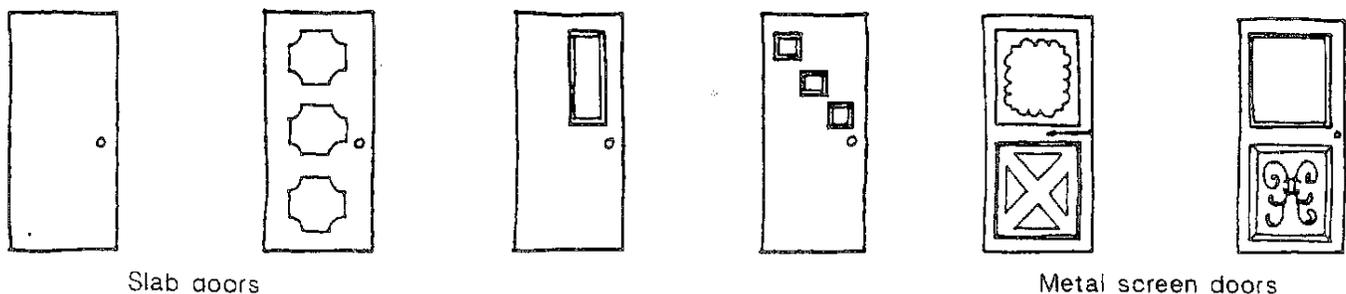
Where possible, original doors should be retained. This includes glass lights, original hardware, such as doorknobs, hinges and pulls. Do not widen doors and door openings or attempt to create new openings or install new doors on the exterior walls of the original structure.

Wherever existing doors are beyond repair, new ones should be installed. New doors should match original materials and should also be similar in design. Doors must reflect the period of construction of the building and materials, as long as they match in look and construction. Slab doors are not recommended.

Doors appropriate to El Paso's Historic Districts:



Not acceptable:

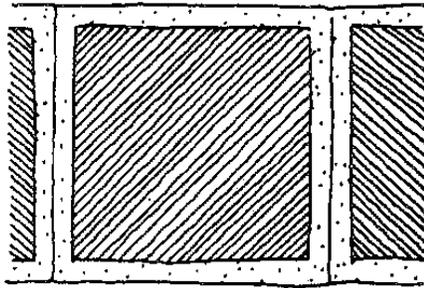


DRIVEWAYS AND WALKWAYS

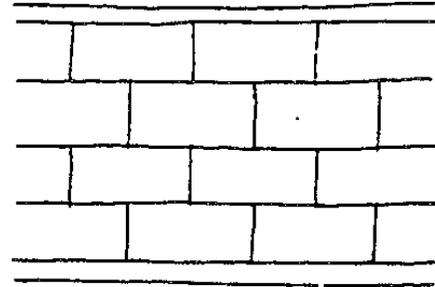
Driveways and walks may be widened or added as part of a landscaping plan. Under the criteria of Administrative Review, the maximum width of a driveway shall be 12 ft.; walkways a maximum of 5 ft. All driveways and walkways must comply with existing City building and safety codes. These additions should be carefully considered in relation to the size of the lot and the general streetscape. For instance, a circular driveway may be appropriate for a large lot or one several feet above the street level.

All requests for driveways and walks shall be considered on a case by case basis. Colors should be those of the natural materials.

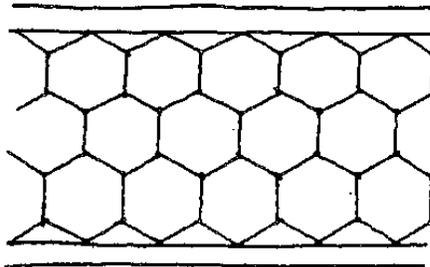
Plain & scored Concrete



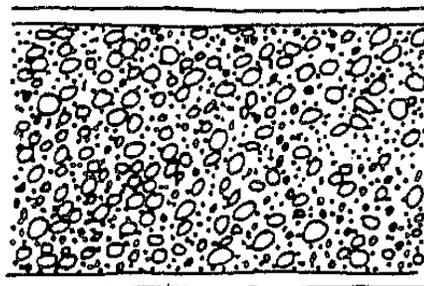
Stone



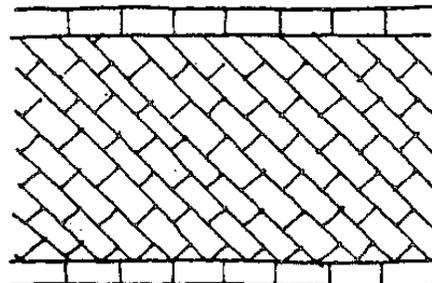
Unglazed Tile

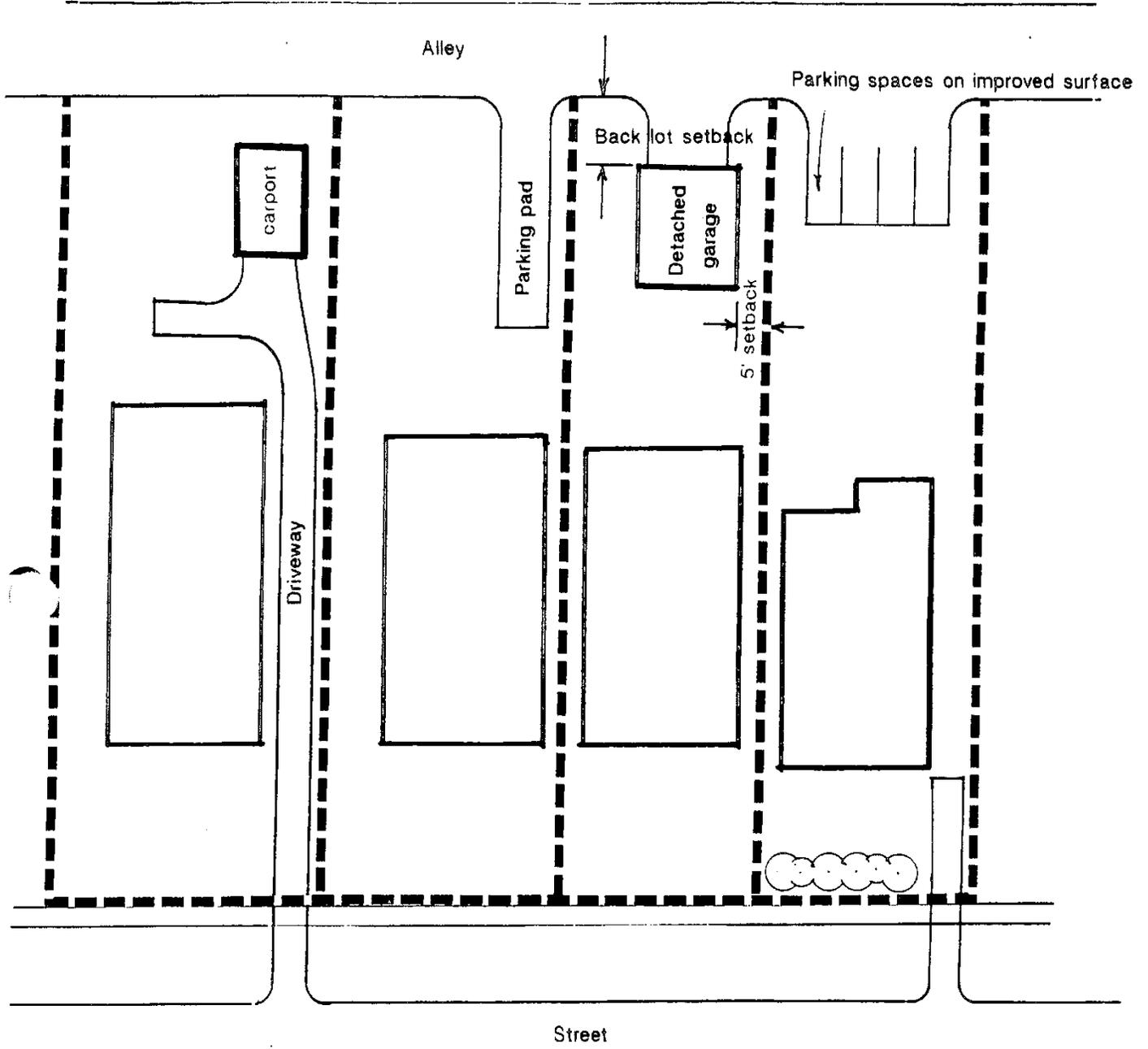


Exposed Pebble Surface



Brick





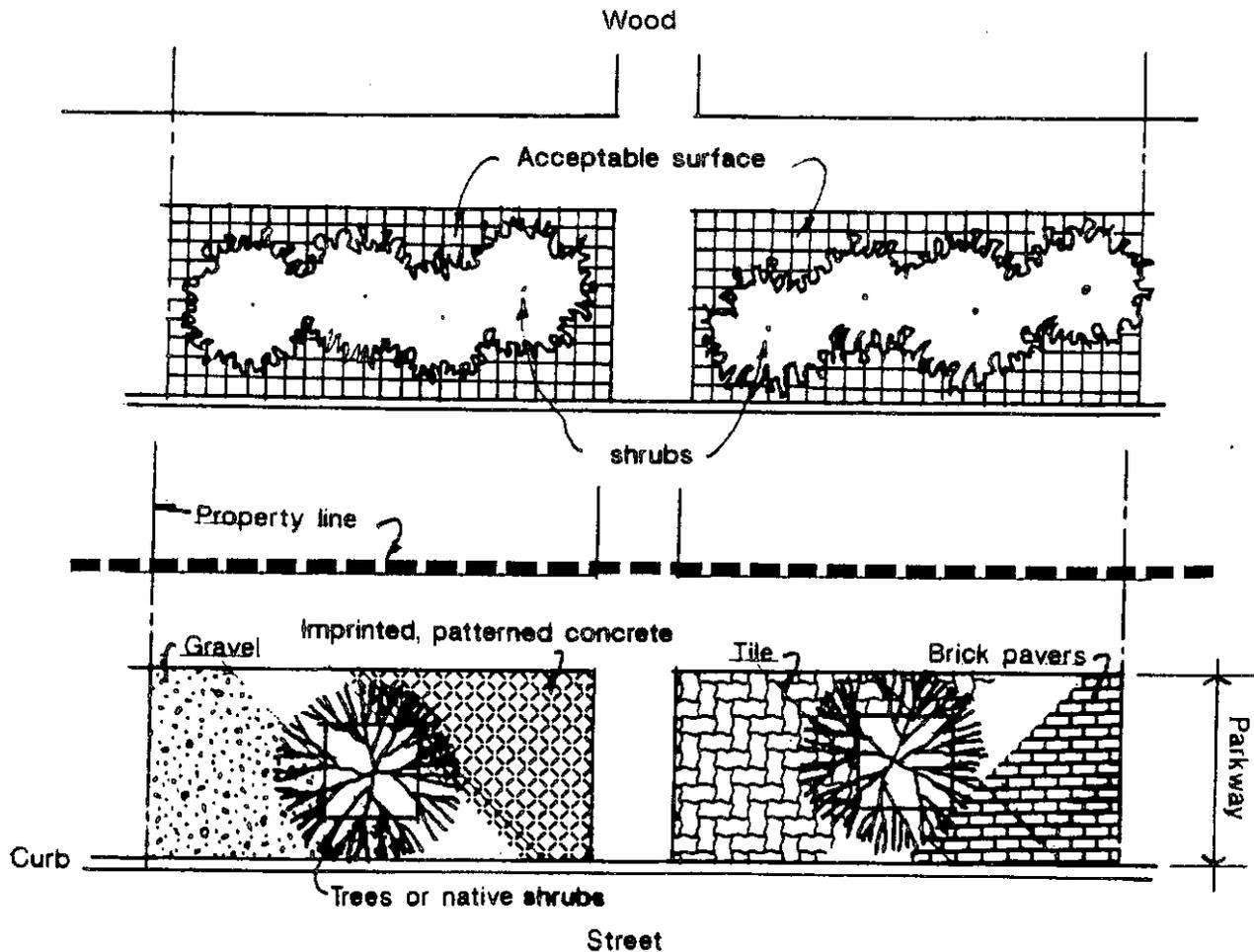
PARKING OPTIONS
For residences without garages or driveways

PARKWAYS

Parkways may be covered with gravel, tile, brick pavers, or stamped or imprinted concrete, as well as, plant material.

Landscaping proposed for parkways, right-of-ways, and other areas where vegetation might obscure traffic sight distances, must get approval from the Department of Transportation and must comply with City Ordinance, Section 12.68.010.

Not more than 50% shall be impervious surfaces; the rest shall be vegetative cover. Parkway are *not* intended for parking. Landscaping design will be at the discretion of the property owner if the parkway is 4 ft. or less in width. If landscaping would create a grave maintenance hardship, a request for consideration of an exception, allowing 100% impervious surface, may be presented to the Historic Landmark Commission.



ACCEPTABLE PARKWAY LANDSCAPING

SWIMMING POOLS

Swimming pools, with a couple of rare cases on large estates, were not original to historic districts. They should not be installed on front yards or side yards facing a street. Swimming pools in back yard will be reviewed on a case by case basis. Pools shall not displace historic landscape.

Safety requirements include fencing around the perimeter of all pools.

WINDOWS

Windows are important character defining features because of significant detailing as in decorative windows, or because they help to define a pattern through the use of voids. Window design will vary with the architectural styles in El Paso's Historic Districts.

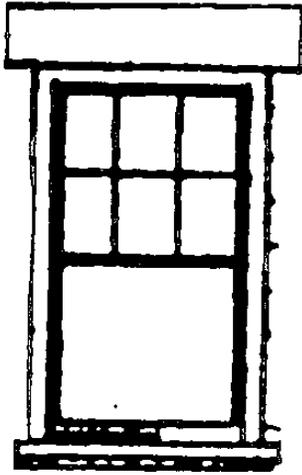
The repetition of windows in the façade of a building establishes a pattern which is sensed by a person observing a building. Architectural elements such as windows contribute to the pattern and rhythm of historic districts. New construction and additions should maintain and reinforce the existing pattern. Windows can make up to 50% or more of the façade which is why they are incredibly important. They are character defining features.

Windows should be repaired rather than replaced. In most cases this will simply entail removing old paint, installing new weather stripping, and then repainting. If windows are damaged beyond repair, replacement windows should match the size, thickness, configuration, operation, type, style, material and finish of the original. Replacement wood or metal-clad wood windows that meet these requirements may replace original windows that are beyond repair. Do not infill, cover and/or widen window opening. It is the intent of these design guidelines that replacement windows match the appearance, materials, design, color, texture, and other visual qualities of the existing windows.

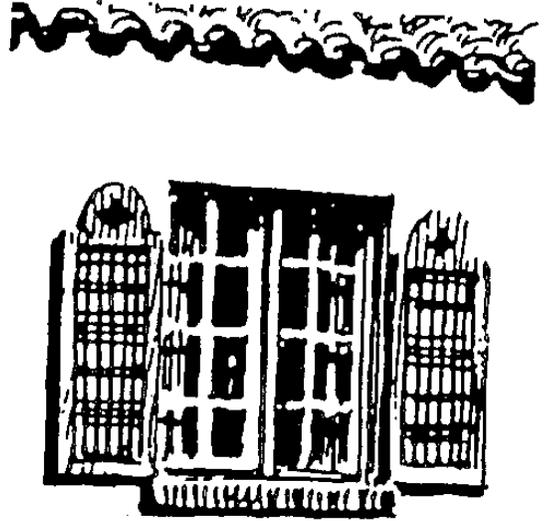
Window styles range from the basic to the ornate. Frames, lintels, and sills were constructed of stone, concrete or wood. The finish must be in character with the overall appearance of the structure and adequately complement its style.

New windows must match the original windows in terms of operation, configuration, materials, colors, details, dimensions, and finish on the main façade and on the visible facades on corner properties; windows matching the appearance and operation of the original materials may be installed on the secondary facades.

Installation of windows, similar to the original in appearance and structural purpose, regardless of construction materials, is permitted. Mirror or reflective film is not allowed.



Wood, double-hung windows



Steel casement windows

COLOR

El Paso's historic neighborhoods (with the exception of the Lower Valley) were created between 1880 and 1930. At this time there were limited choices of colors available. For the most part surviving historic buildings were constructed of masonry materials: brick, stone, stucco, and adobe. Wood was used on the exterior for eaves, fascia, columns, windows, and doors and trim. Wood and metal were the materials that were painted.

Today, almost any tint, shade or hue is possible. Indiscriminate choice of color can create a false historic appearance and can have a negative impact on the other buildings on the street. For this reason it is recommended that the original colors be used, and that brick and stone *not* be painted. Once brick or stone is painted, the painted surface becomes a maintenance requirement. Any request for painting previously unpainted brick, stone, or masonry shall be reviewed by the HLC.

Because of the great diversity of the city's historic districts, colors appropriate to one neighborhood might not be suitable for another. Magoffin, Downtown, Old San Francisco, and Sunset Heights, share a common time frame and architectural vocabulary. Manhattan Heights and Austin Terrace are also related in the same way.

Because of the diversity of styles, periods and materials, it is not possible to recommend colors for all historic buildings. Each request will be reviewed individually and on its own merits.

The following reference has been recommended as a guide to appropriate color selection for buildings within various historic districts: Century of Color, Exterior Decoration for American Buildings 1820-1920, Roger W. Moss. The American Life Foundation, Watkins Glen, New York, 219 S. Sixth Street, Philadelphia Pennsylvania. 1981. 108 pp.

Most paint colors can be approved administratively. The applicant must supply an application with paint chip samples to staff. The paint samples are then compared to the color brick in the Planning Department. If the desired paint color matches one of the top three colors on each strip, these can usually be approved as the main color of the house (with the exception of some blues, greens, pinks, reds, fuschias, oranges, and yellows). Trim color may be a darker or contrasting color than the body of the building. The Historic Preservation Office has the right to defer any color request to the HLC.

RECOMMENDED COLOR CHART BY STYLE

	BUNGALOW	CLASSIC REVIVAL	FOUR SQUARE	VICTORIAN	MEDITERRANEAN	PUEBLO
WALLS						
Brick-stone	shall not be painted					
Stucco or Adobe					white and pastel tints	white and light earth colors
WOOD						
Wood Trim						
Fascia	white or contrasting colors	contrasting colors or natural stain	natural stain or cool colors			
Columns						
Doors						
Windows						
ROOF						
Wood Shingle*	natural stain	natural stain	natural stain	natural stain		
Tile		shall not be painted	shall not be painted		shall not be painted	
Composition Shingle	avoid dark colors		avoid dark colors	avoid dark colors		
Metal		contrasting color	contrasting color	contrasting color	contrasting color	
Built-up (flat)					any color	any color