

Applicant requests a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-3 (Residential) zone.

This would permit an 18'6" by 7'6" addition that is proposed to encroach 7'6" into the required rear yard setback.

The required front and rear yard cumulative setback total is 50' in the R-3 zone district.

BACKGROUND

The applicant enclosed her patio for the addition of an office. She is seeking to legalize the addition which does meet the requirements of the Special Exception C. She also constructed an accessory building that is located in the rear yard and is closer than 5 feet to the main house and is located at 0' of the side property line. In addition, a site visit reveals that there is another accessory structure, a roofed seating area, in the rear yard. The applicant states this structure is 10' by 10'. She reports the dimensions of the storage building as 7.5' by 10'.

The applicant is limited to 180 square feet of accessory structure in the rear yard and any accessory building closer than 5 feet to the main structure is considered part of the main structure. She is required to relocate the storage building to another area of the yard and to fire-rate any structures closer than 3 feet to any property line.

CALCULATIONS

1/3 average lot width = 23.33 (70' ÷ 3)

Required rear yard setback = 25'

Requested rear yard setback = 17'

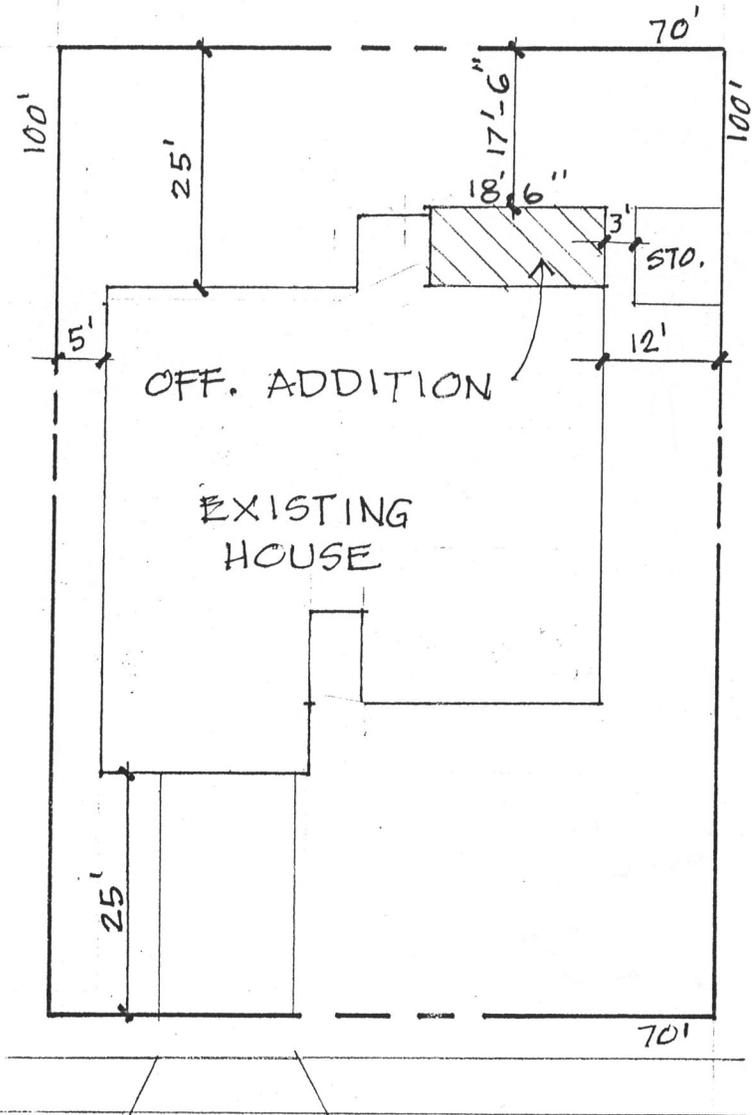
STAFF RECOMMENDATION

Staff recommends approval of the request for the Special Exception for the addition of an office with conditions that the combined area of all accessory structures cannot exceed 180 square feet and that the storage building either be removed or relocated to another area of the rear yard and located no closer than 3 feet to any property line.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

"Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. The total width of all extensions granted shall not exceed one-third of the average width of the site; and,
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit."



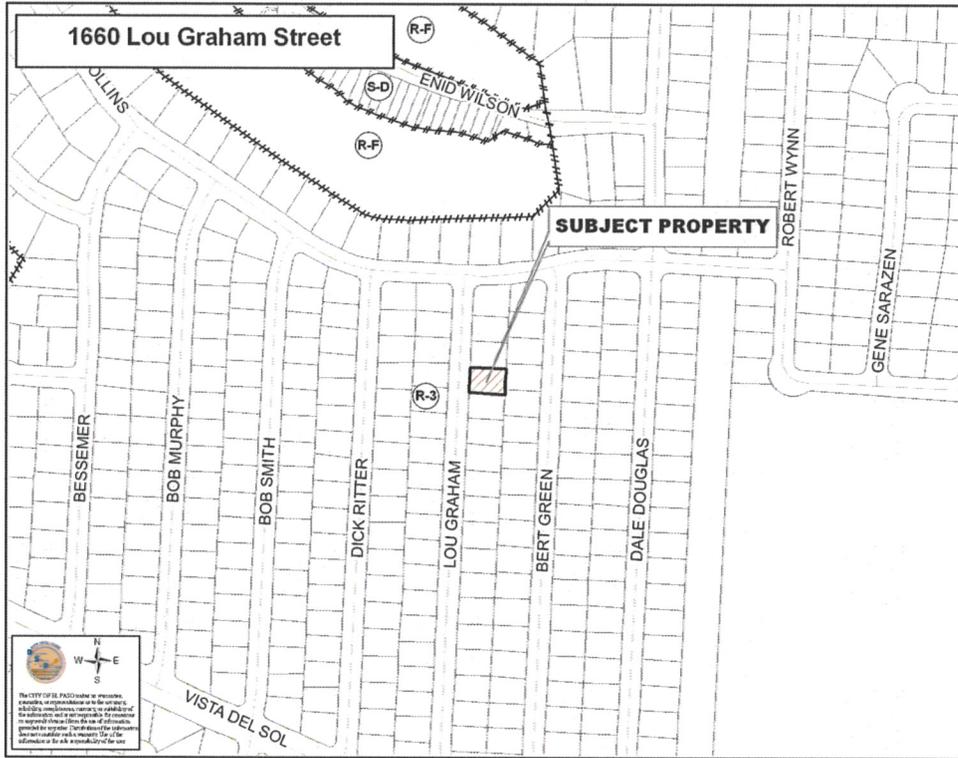
1660 LOU GRAHAM

LOT 16 , BLOCK 168
 VISTA DEL SOL No. 29

SITE PLAN 1"=20'

BUD 10-00088

ZONING MAP



NOTIFICATION MAP

