

**Applicant requests a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-5 zone.**

This would permit the construction of a 16.5' by 10' addition that is proposed to encroach 10' into the required rear yard setback.

The required cumulative front and rear yard setback total is 45 feet in an R-5 (Light Density Residential) zone.

**BACKGROUND**

The applicant is proposing to make several additions to her house and is requesting the Special Exception for an addition that is proposed to encroach into the required rear yard setback and to be located to within 15' of the rear property line. The proposed additions in the side yard do not encroach into required yard setbacks. There is an existing 10' x 14' accessory building located in the rear yard.

**CALCULATIONS**

1/3 average lot width = 16.66' (50' ÷ 3)

Requested width of encroachment = 16.50'

Required rear yard setback = 25'

Requested rear yard setback = 15'

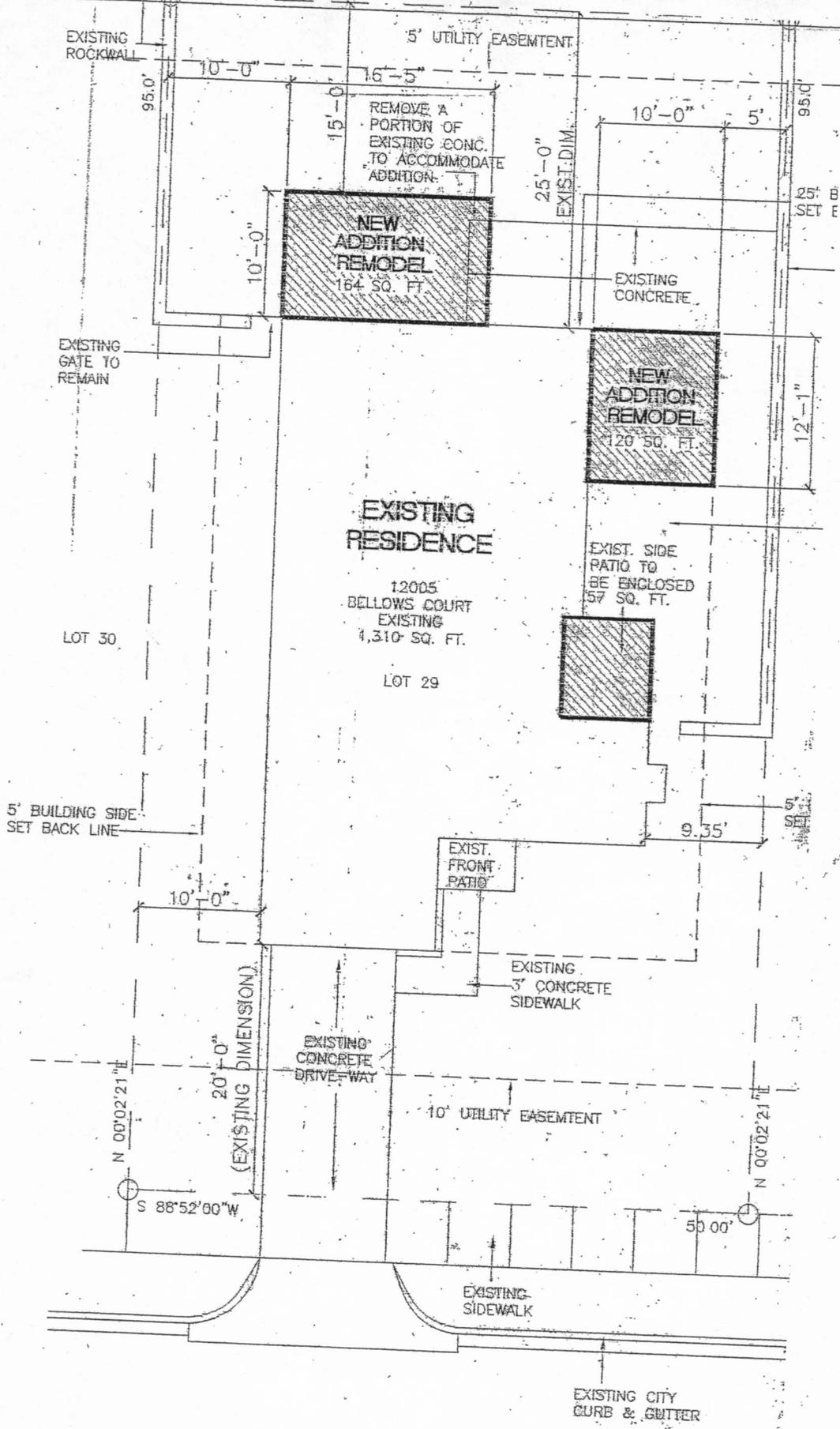
**STAFF RECOMMENDATION**

Staff recommends approval of the request as it meets the requirements of the Special Exception C.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

“Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. The total width of all extensions granted shall not exceed one-third of the average width of the site; and,
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit.”

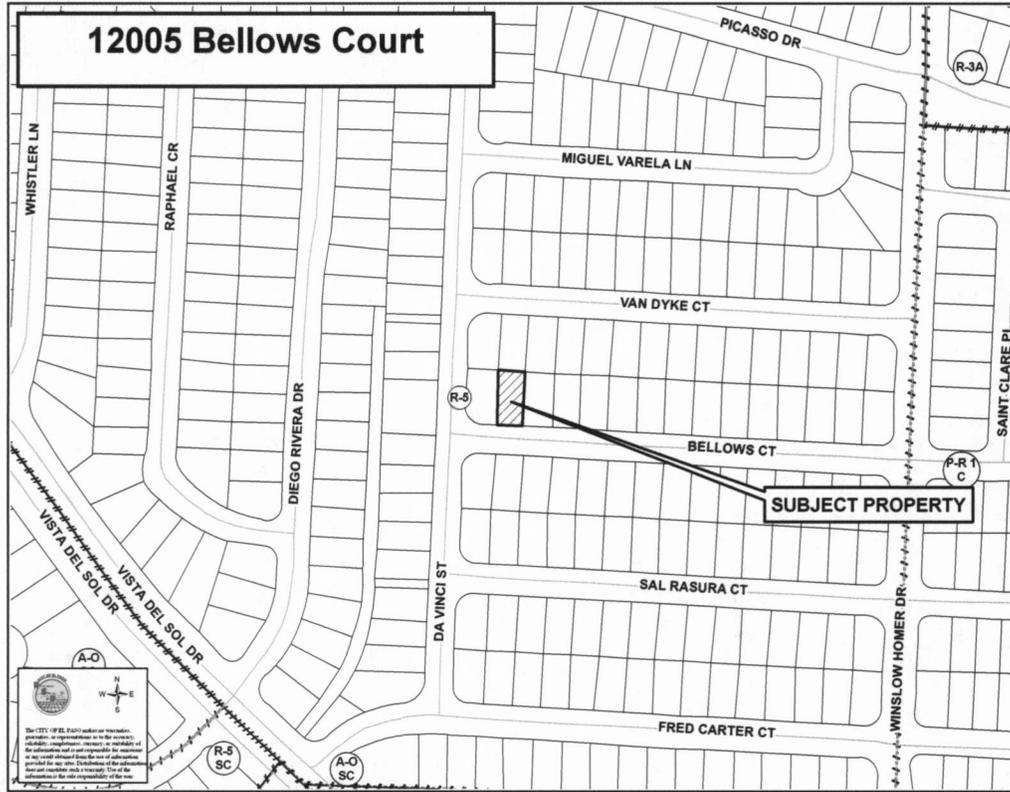


12005 BELLOWS COURT  
(52' R.O.W.)



SITE PLAN

# ZONING MAP



# NOTIFICATION MAP

