

Applicant requests a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-3 (Residential) zone.

This would allow a 22' by 22'6" addition of which a 129 square feet portion is proposed to encroach into the required rear yard setback and to be located to within 16 feet of the rear property line.

The required cumulative front and rear yard setback total in the R-3 zone district is 50 feet.

BACKGROUND

The applicant is requesting the special exception for a two story addition; a portion of the addition on the second story will encroach in the required rear yard setback. A site visit reveals that there is a pool in the rear yard and possibly other additions to the property which are not shown on the site plan.

CALCULATIONS

Permitted area of encroachment in required rear yard = 500 sq. ft. (33.33' [100' lot width ÷ 3] x 15' [3/5 of 25'])

Requested area of encroachment = 129 sq. ft. (22.33' x ~5.87')

Required front and rear yard setback total = 50'

Requested front and rear yard setback = 41'

STAFF RECOMMENDATION

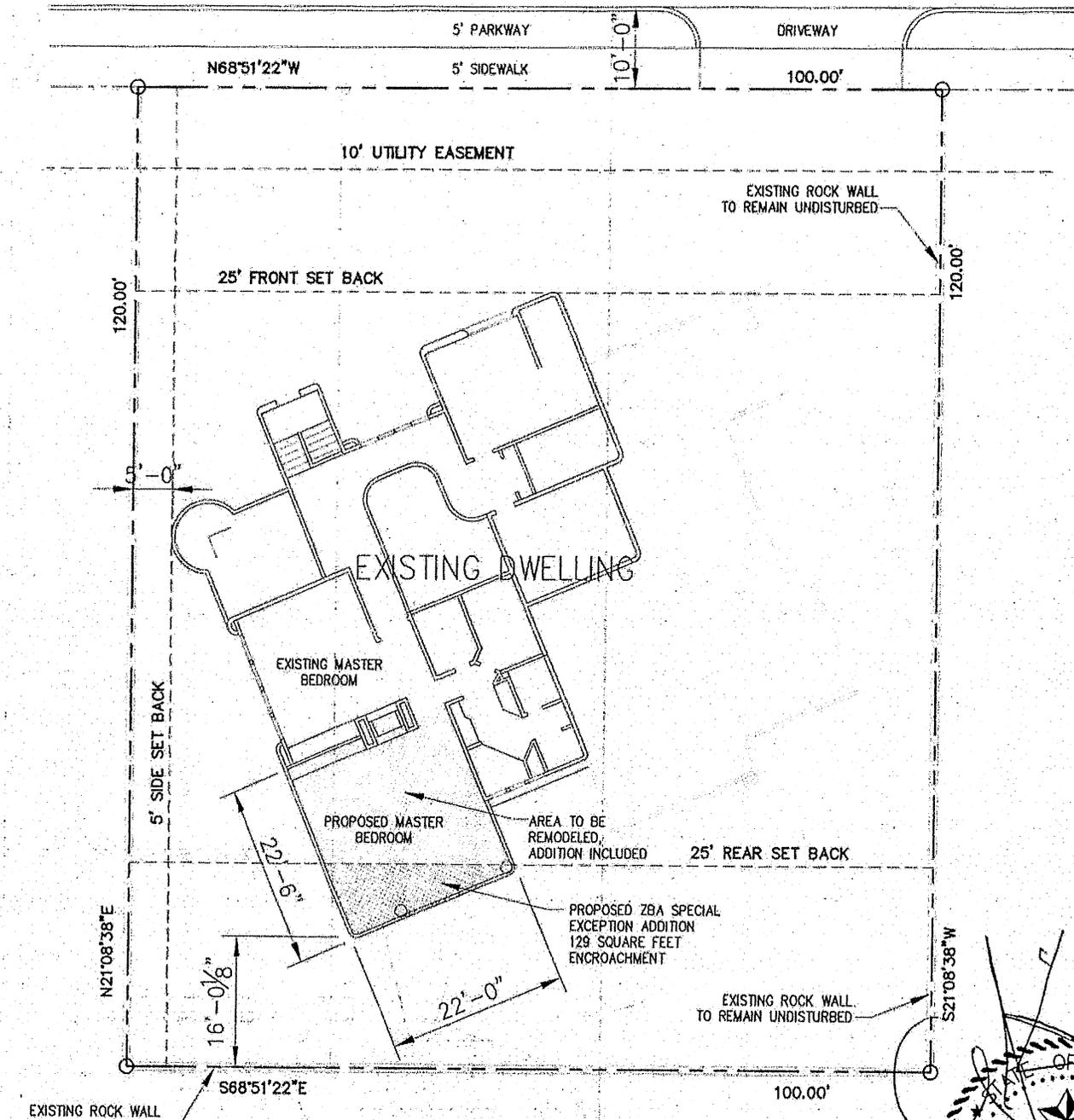
Staff recommendation is pending the receipt of a revised site plan.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

“Permit an extension of a single-family residential structure into the required rear yard setback, which shall be measured to the rear property line; provided, however, that:

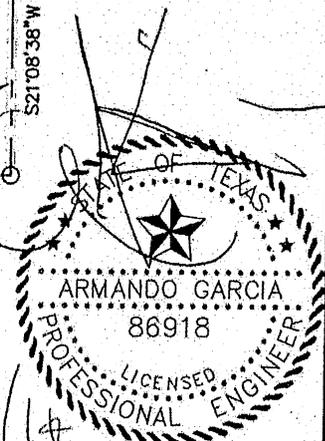
1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard setback;
3. A minimum ten-foot rear yard setback shall be required;
4. The minimum side and side street yard setbacks shall not be reduced; and
5. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space.”

262 VISTA DEL SOL #49, LOT 28,
CITY OF EL PASO, EL PASO COUNTY, TEXAS



1739 BILLY CASPER

SCALE: 1" = 20'-0"



Garcia Engineering, Inc.
Consulting Engineers

PROPOSED REMODEL / ADDITION

DRAWN BY: B.R.
CHECKED BY: A.G.

(915) 525-6825
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agarcia@garciengineering.com

612 N Resler, Ste C
El Paso, Texas 79912

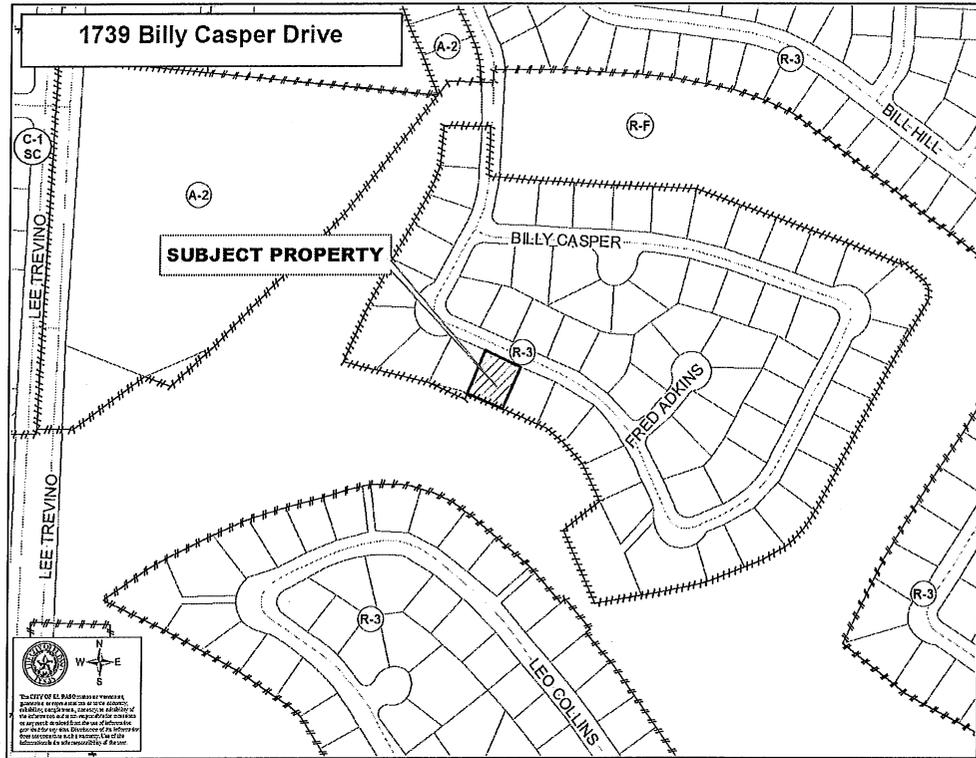
1739 BILLY CASPER
EL PASO, TEXAS

SHEET:

FIRM REGISTRATION # 5591

C-1

ZONING MAP



NOTIFICATION MAP

