

PZBA13-00041                      3820 Skyline Avenue                      Anastacio & Floriza I. Valdez  
Applicants request a Special Exception under Section 2.16.050 J (Carport over a Driveway)  
in an R-4 (Residential) zone.

This would allow a new 18'6" by 19'3" (356 sq. ft.) carport that is proposed to encroach in the required front yard setback and to be located to within 5 feet of the front property line.

The required cumulative front and rear yard setback total in the R-4 zone district is 45 feet.

**BACKGROUND**

The applicant is requesting to build a carport over the driveway that will match the house in design and materials. There is no utility easement at the front property line. Building Permits & Inspections reviewed the structural plans and found them to be deficient due to over spanned beams throughout the structure. Should the special exception be granted, corrected plans will be required before the issuance of permits.

**CALCULATIONS**

Permitted carport area = 356 sq. ft. (1,780 sq. ft. first floor area under roof ÷ 5)

Requested area of carport = 356 sq. ft. (18'6" x 19'3")

Required front and rear yard setback total = 45'

Requested front and rear yard setback total = 32'

**STAFF RECOMMENDATION**

Staff recommendation is for approval of the request as it meets the requirements for the Special Exception J, with a condition that corrected plans are submitted per Building Permits & Inspections' structural report.

The Zoning Board of Adjustment is empowered under Section 2.16.050 J to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The zoning board of adjustment has received the written approval of the structural design from the building official;
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, shall be open on three sides, shall be attached to the main structure and shall rise no higher than the highest point of the roof of the dwelling;
4. The area of the carport shall not exceed one-fifth of the first-floor area under roof of the dwelling, with the first-floor area of the dwelling defined as the sum of the gross horizontal area, exclusive of garages, atriums, stairwells, and open porches, measured from the exterior faces of the exterior walls; and, shall be measured as the area covered by the carport roof, to include overhangs;
5. Elevation drawings of the proposed structure shall be submitted;
6. For a duplex, the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit;
7. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
8. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space."



## City Development Department

**TO:** Zoning Board of Adjustment Staff

**FROM:** Tony De La Cruz, Senior Plans Examiner

**DATE:** January 28, 2014

**RE:** PZBA13-00041, Structural Review

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### MEMORANDUM

I have reviewed the plans for ZBA case PZBA13-00041 located at 3820 Skyline Avenue. The applicant is requesting a Special J Exception under Title 2.16.050 for a carport over the driveway.

The carport's structural design has been reviewed and has been found inadequate, due to over spanned beams at the proposed carport and additional information required about the existing header above the garage door. These structural discrepancies do not affect the requested special exception but will need to be corrected, should the special exception be granted, prior to building permits being issued.

This letter is written pursuant to Title 2.16.050 J2, and provides written confirmation of review for the carport design based upon structural design considerations from the Building Permits and Inspections Division of the City Development Department.

Respectfully,  
Tony De La Cruz

**Mayor**  
Oscar Leeser

#### City Council

*District 1*  
Ann Morgan Lilly

*District 2*  
Larry Romero

*District 3*  
Emma Acosta

*District 4*  
Carl L. Robinson

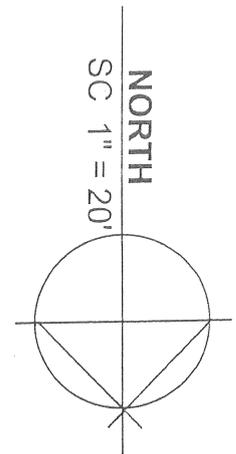
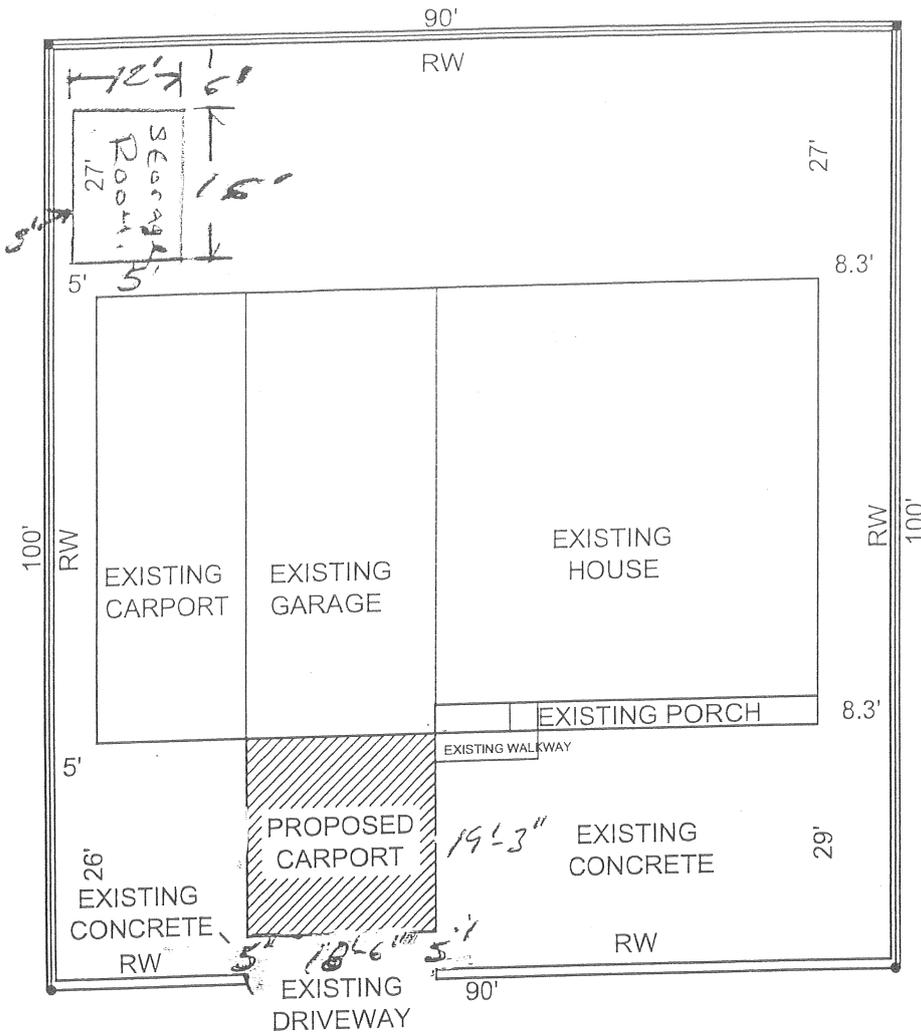
*District 5*  
Dr. Michiel R. Noe

*District 6*  
Eddie Holguin Jr.

*District 7*  
Lily Limón

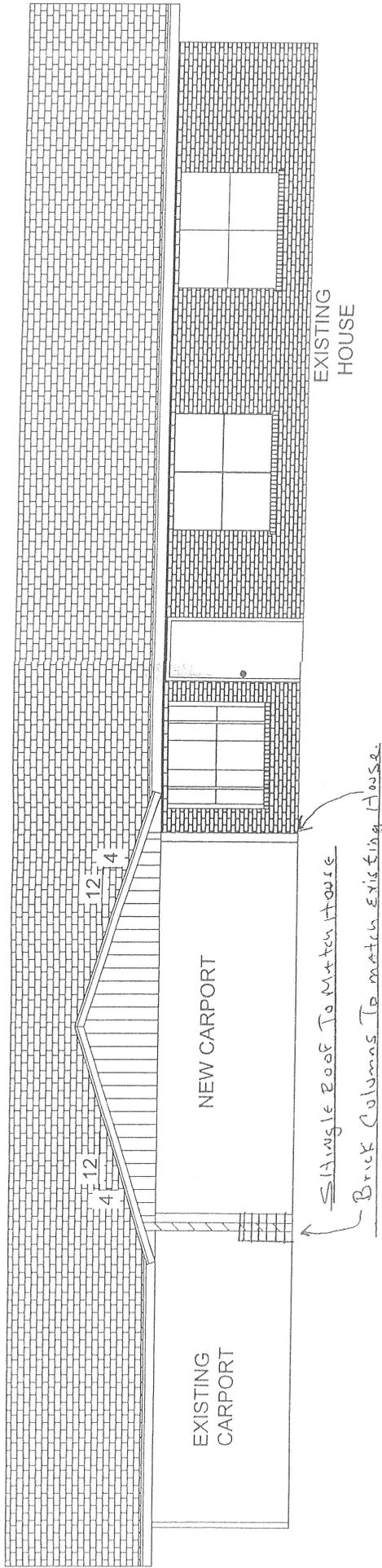
*District 8*  
Cortney C. Niland

**City Manager**  
Joyce A. Wilson



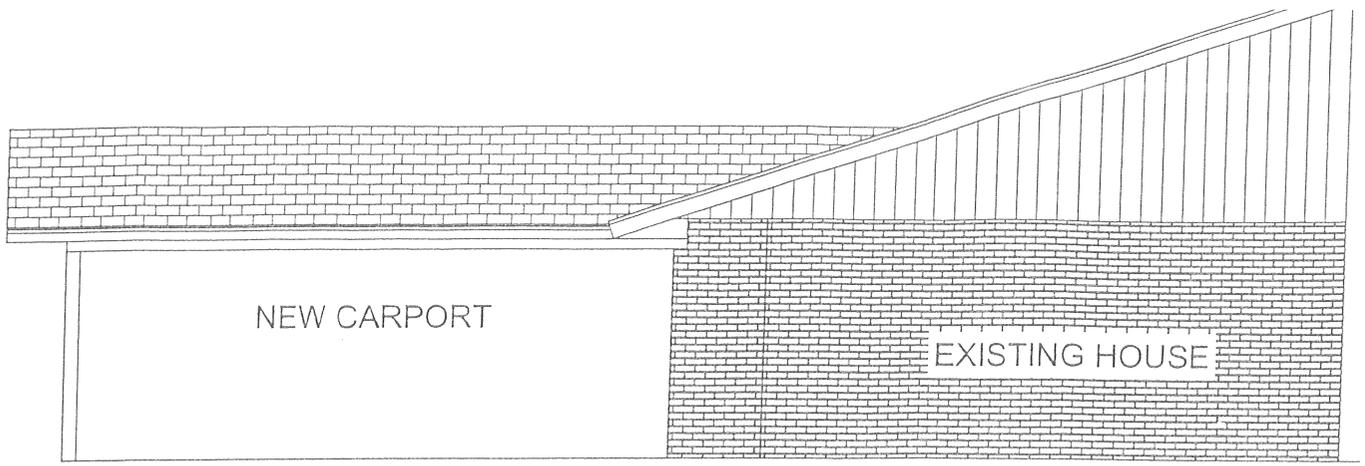
3820 SKYLINE AVE.  
 2 CANYON PLACE  
 Lot 4 & WLY 30FT.  
 OF 5

SCALE 1/4" = 1' - 0"



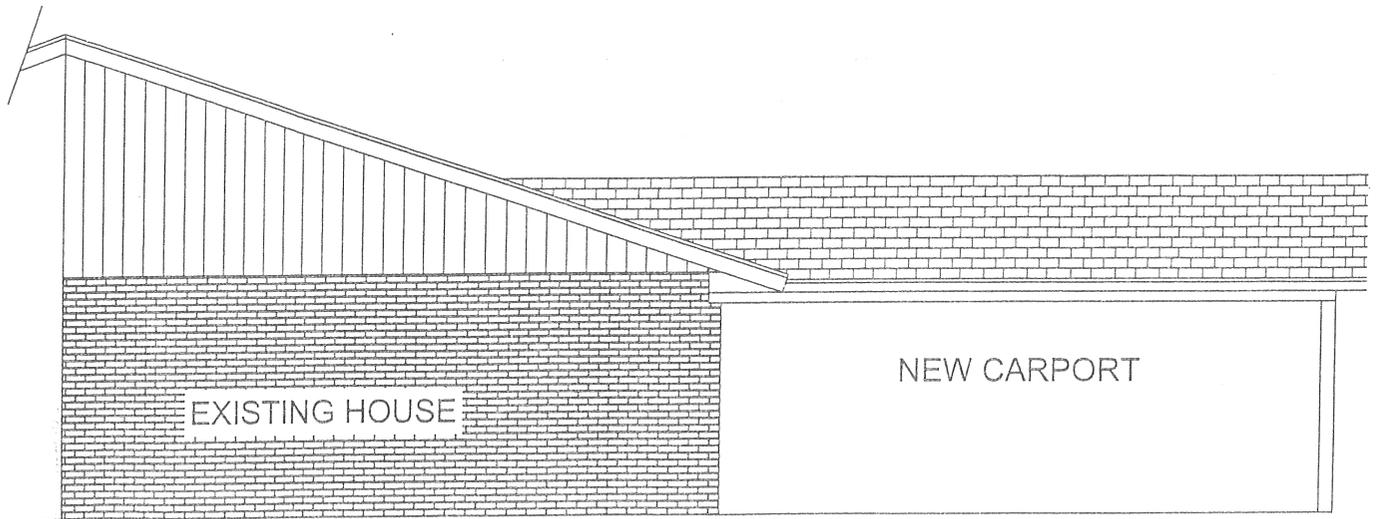
# FRONT ELEVATION

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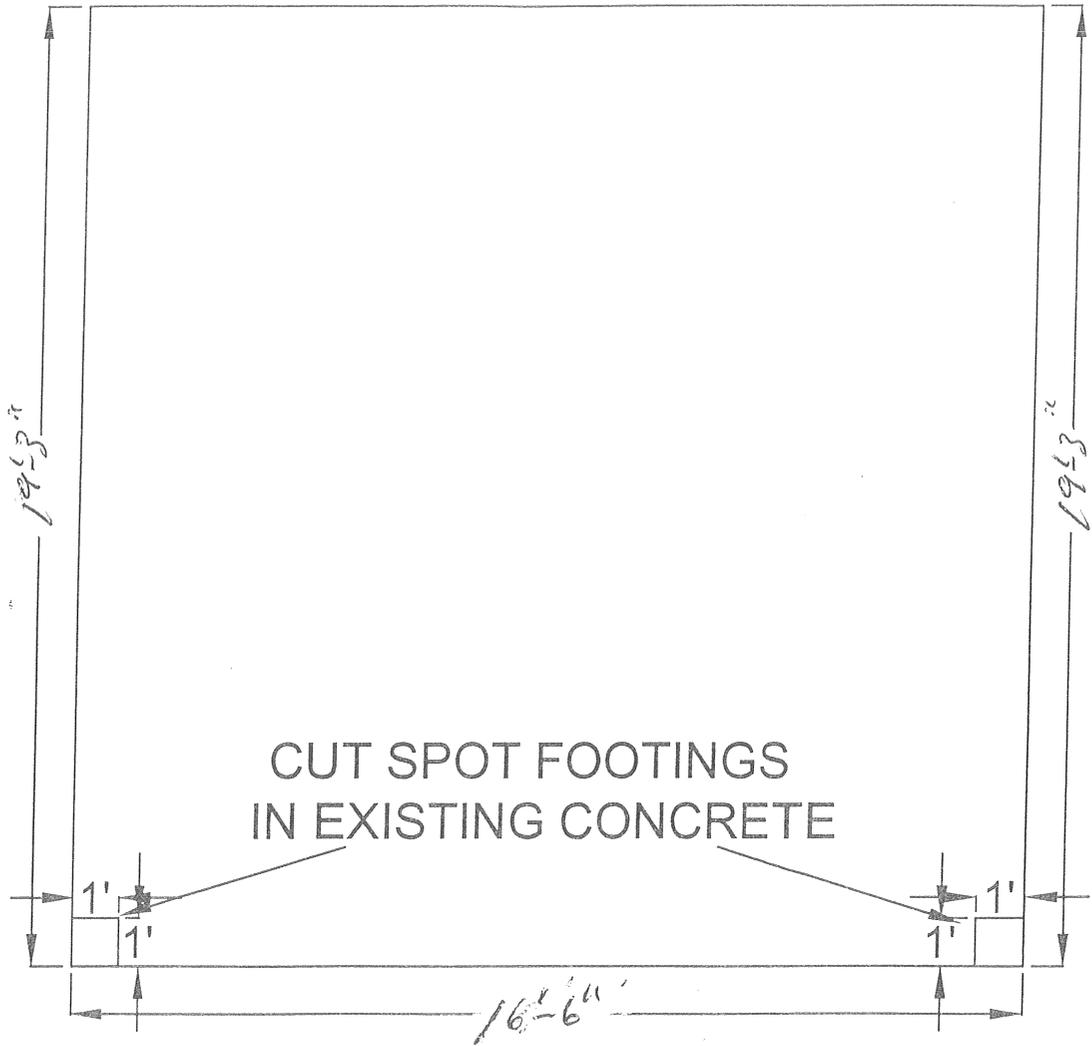


# RIGHT SIDE ELEVATION

SCALE  $\frac{1}{4}'' = 1' - 0''$

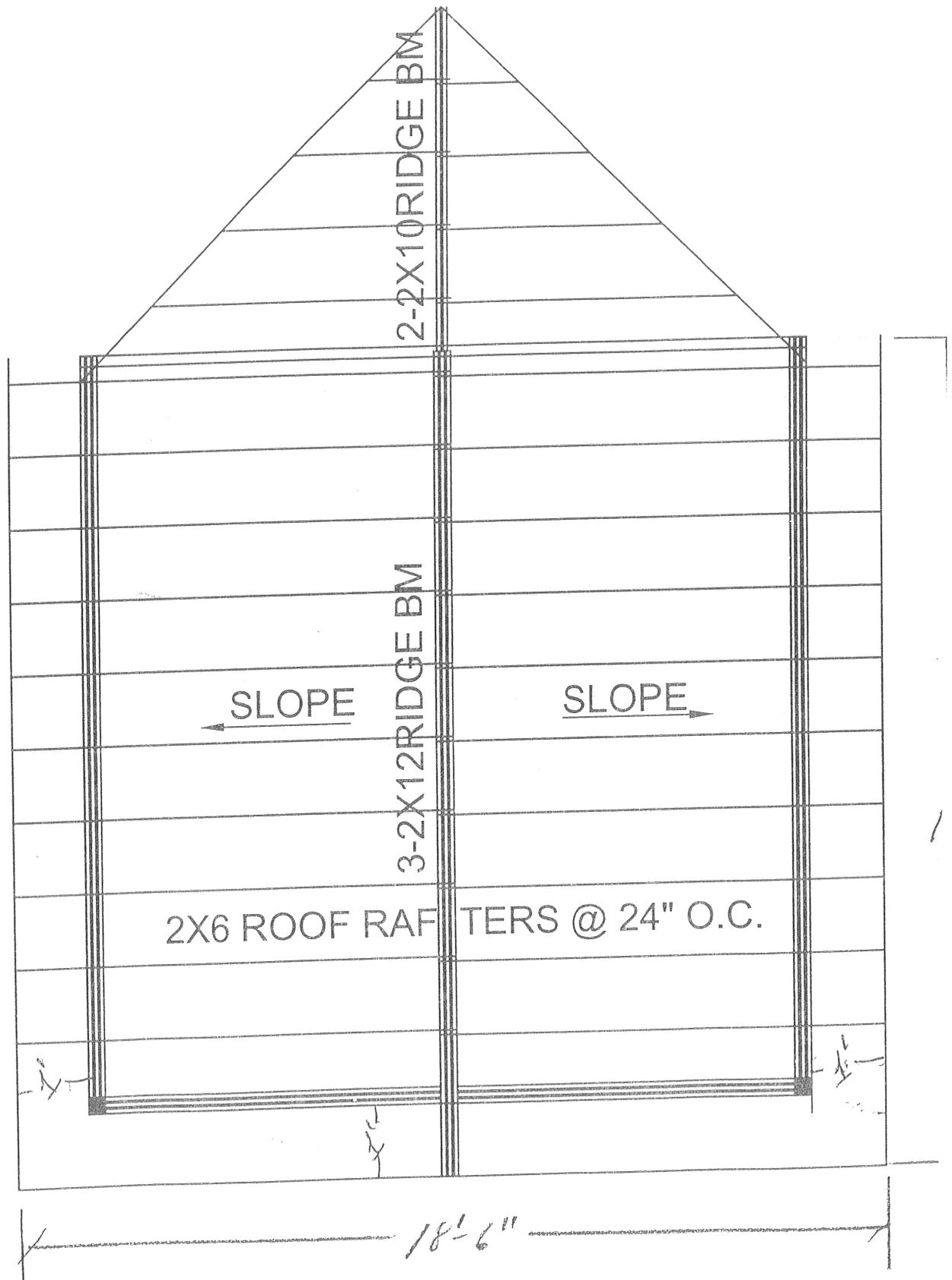


# LEFT SIDE ELEVATION



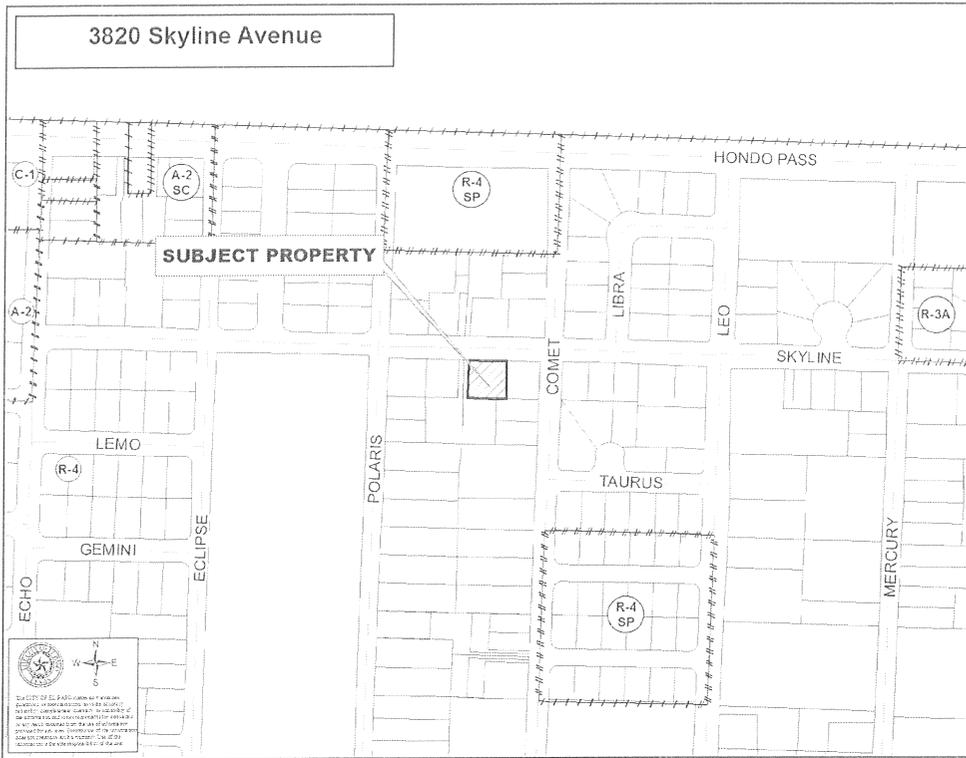
# FOUNDATION PLAN

SCALE  $\frac{1}{4}'' = 1' - 0''$



**ROOF PLAN**

# ZONING MAP



# NOTIFICATION MAP

