

**Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-1 (Residential) zone.**

This would permit a 14'6" by 12' addition to the existing patio and a 14'10" by 9' enclosed addition of which an approximate total of a 29.33' by 11' portion is proposed to encroach into the required rear yard setback and to be located to within 38 feet of the rear property line.

The required front and rear yard cumulative setback total in the R-1 zone district is 100 feet.

**BACKGROUND**

The ZBA granted Special Exceptions to the subject property on June 12, 2006 for an encroachment into the required rear yard setback and for a carport encroaching into the required front yard setback. The applicants are now requesting the Special Exception C for an addition to the patio, a new bathroom and new master bedroom closet which are proposed to encroach into the required rear yard setback.

**CALCULATIONS**

Permitted area of encroachment in required rear yard = 1,567.27 sq. ft. (68.74' [206' lot width ÷ 3] x 22.80' [3/5 of 38'])

Previously granted area of encroachment = 275.94 sq. ft. (50.66' x 9' = 455.94 sq. ft., less permitted porch area of 180 sq. ft. = 275.94 sq. ft.)

New requested area of encroachment = 322.63 sq. ft. (29.33' x 11')

Required front and rear yard setback total = 100'

Requested front and rear yard setback total = 62.5'

**STAFF RECOMMENDATION**

Staff recommendation is for approval of the request as it meets the requirements of the Special Exception C.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

"Permit an extension of a single-family residential structure into the required rear yard setback, which shall be measured to the rear property line; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard setback;
3. A minimum ten-foot rear yard setback shall be required;
4. The minimum side and side street yard setbacks shall not be reduced; and
5. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space."

N 00 02' 00" W

PL = 220.02'

10' IRRIGATION EASEMENT

ELEV. MARKER  
FG = 41.67

51.16'

ELEV. MARKER  
FG = 41.67

50.00'

PL = 156.00'

14' 6"

14' 10"

14' 16"

COVERED PATIO

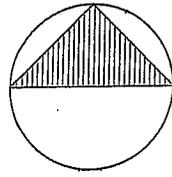


RESIDENCE

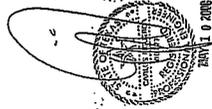
FF = 43.34  
FG = 42.67

20.0'

4' GATE



NORTH  
SC: 1/8"=1'



50.00'

16' CONCRETE  
DRIVEWAY

16' CONCRETE  
DRIVEWAY

N 53 38' 37" W

5 89 58' 00" W

10' UTILITY EASEMENT

ELEV. MARKER  
FG = 41.67

PL = 16.74'

T.O.C. = 42.17

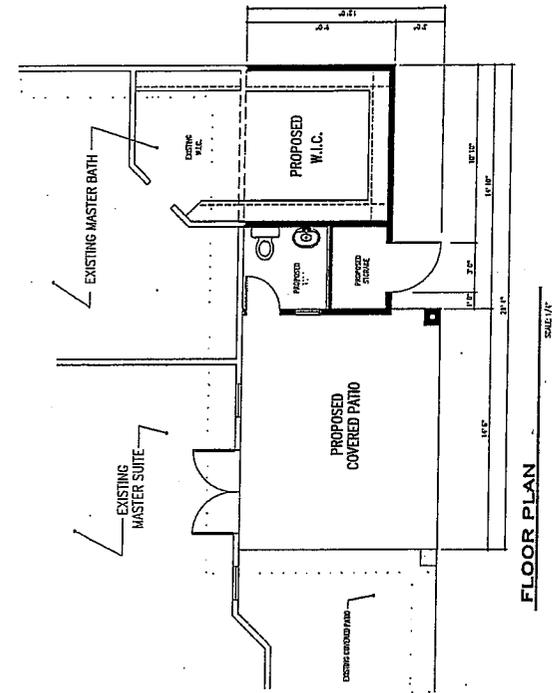
T.B.C. = 42.17

5533 WOODFIELD DRIVE

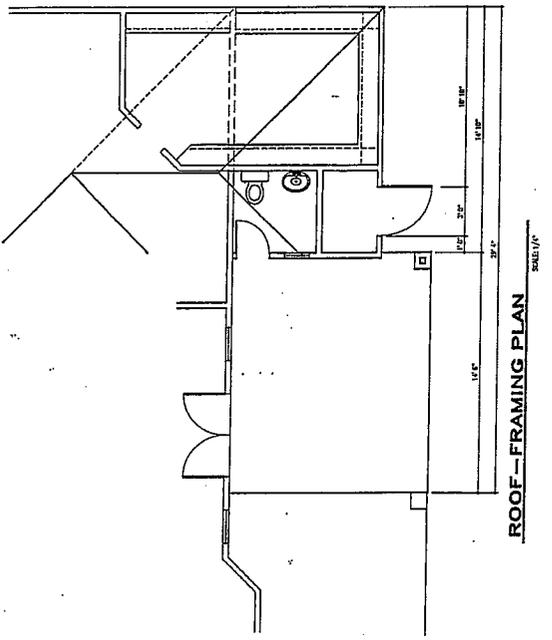
EMERALD VALLEY ESTATES  
LOT-21 BLOCK-1

R. = 70.00'  
L. = 75.99'  
CH. = 72.31'  
B. = S 06 21' 45" W  
D. = 62 11' 43"

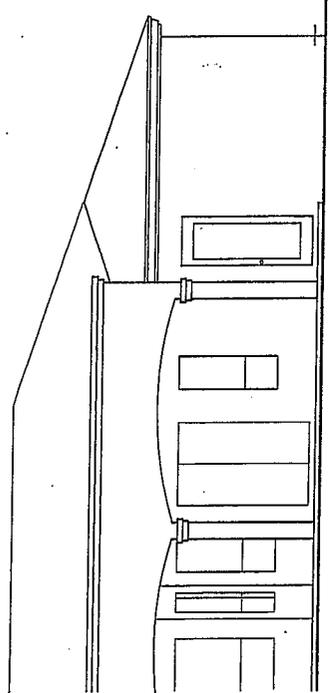
0'  
4'  
83'  
23' 03" W  
2' 06"



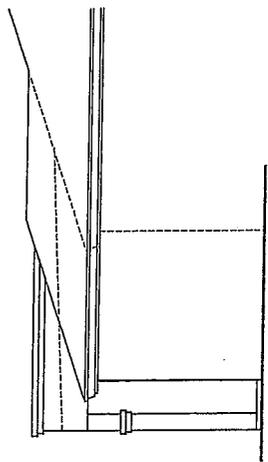
FLOOR PLAN



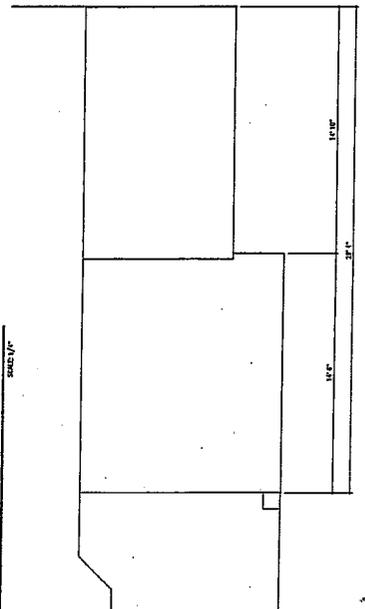
ROOF-FRAMING PLAN



REAR ELEVATION



LEFT SIDE ELEV.



FOUNDATION PLAN

