

**Applicant requests a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-4 (Residential) zone.**

This would allow an 11' by 13.5' addition that is proposed to encroach in the required rear yard setback and to be located to within 13 feet of the rear property line.

The required front and rear yard cumulative total setback is 45 feet in the R-4 zone district.

**BACKGROUND**

The applicant is requesting to enclose part of the patio for a sunroom, of which an 11' by 6.5' portion is encroaching into the required rear yard setback.

**CALCULATIONS**

Permitted square feet encroachment = 255 sq. ft. (20.74' [62' lot width ÷3] x 12.3' [3/5 of 20.5'])

Requested square feet encroachment = 71.50 sq. ft. (13' x 6.5')

Required rear yard setback = 20.5'

Requested rear yard setback = 13'

**STAFF RECOMMENDATION**

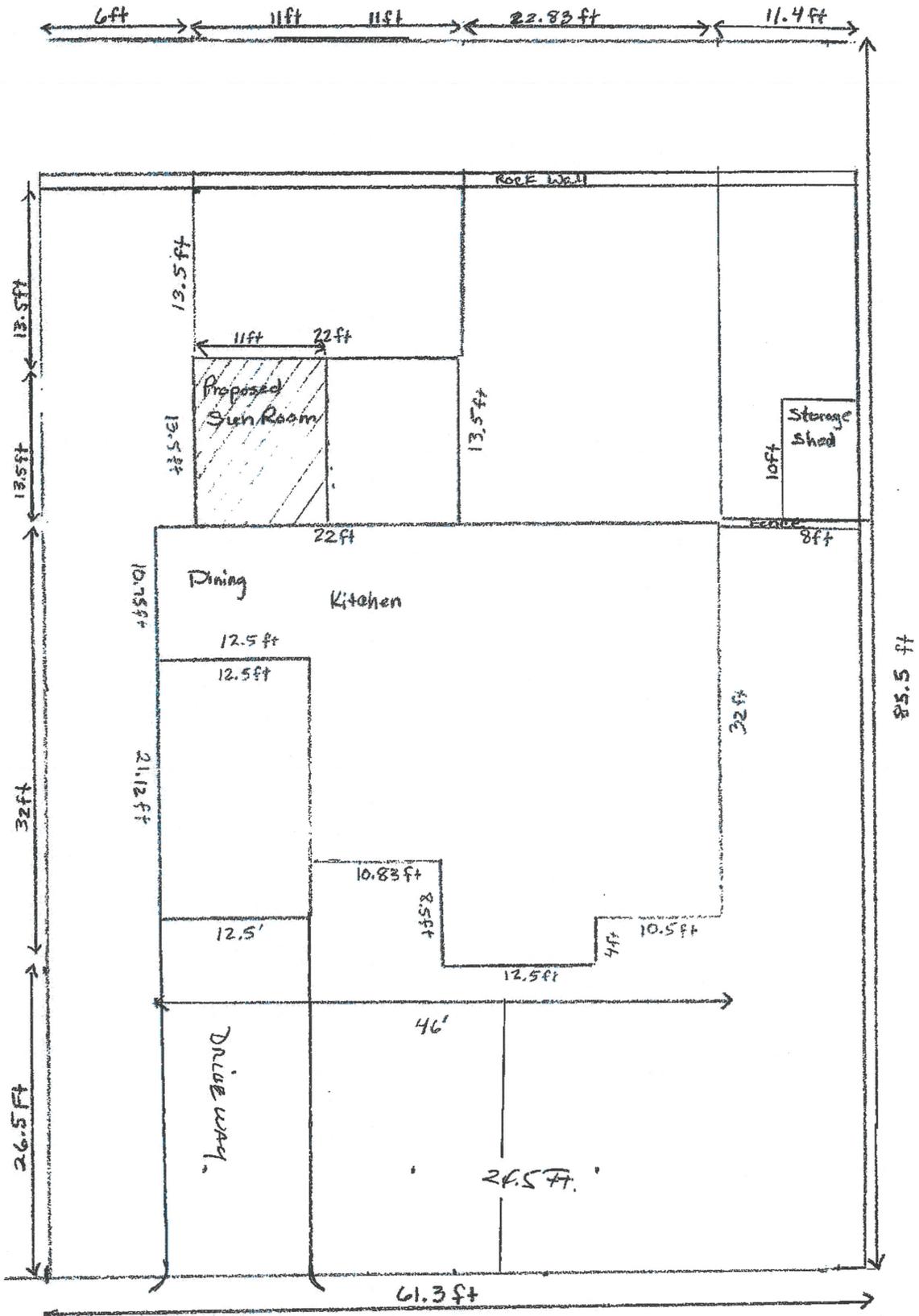
Staff recommendation is for approval as it meets the requirements of the Special Exception C.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

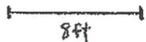
Permit an extension of a single-family residential structure into the required rear yard setback, which shall be measured to the rear property line; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard setback;
3. A minimum ten foot rear yard setback shall be required;
4. The minimum side and side street yard setbacks shall not be reduced; and,
5. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space.

Site Plan



8 ft = .625" or 5/8"



10108 NEWCASTLE DR.  
 Block 28  
 COLONIA VERDE  
 LOT 22

# ZONING MAP



# NOTIFICATION MAP

