

Applicants request a Special Exception under Section 2.16.050 Q (Carport over a Driveway) in an R-3 zone.

This would permit the construction of a 20' by 22' carport that is proposed to encroach 22' into the required front yard setback.

The required cumulative front and rear yard setback total is 50' in an R-3 zone.

**BACKGROUND**

The applicants are proposing to add a carport that will encroach in the front yard setback, to within 3 feet of the front property line. The Engineering-Traffic Division has reviewed the site and has no apparent traffic concerns with the proposed carport, but notes that carports may not encroach onto sidewalks. The Building Permits & Inspections Division has reviewed the structural plans for the carport and finds them acceptable.

**CALCULATIONS**

Permitted carport area = 502 sq. ft. (First floor area under roof = 1,763 ÷ 5 = 352 sq. ft. + 150 sq. ft. permitted porch)

Requested carport area = 440 sq. ft. (20' x 22')

Front yard setback = 25'

Requested front yard setback = 3'

**STAFF RECOMMENDATION**

Staff recommends approval of the request as it meets the requirements of the Special Exception Q, with the condition that the accessory building is removed from the side yard.

The Zoning Board of Adjustment is empowered under Section 2.16.050 Q to:

"Permit the encroachment into the required front yard setback beyond other allowed modifications for a canopy covering a driveway (as that term is defined in Section 19.04.040(c) of this code) on the lot; provided, however, that:

1. The canopy is located in a residential (R) district or at a single-family residence;
2. The canopy shall be structurally sound, connected to and in harmony with the dwelling, and shall be constructed in accordance with drawings and specifications bearing the seal of a registered professional engineer or architect;
3. The owners of property within three hundred feet of the subject property shall be provided written notice of the proposed canopy and ten days' prior written notice of the hearing of the board at which the application for special exception for the canopy shall be considered;
4. The area of the canopy shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the canopy rise above the highest point of the roof of the dwelling;
5. The design and location of the canopy has received the written approval, based upon traffic safety and structural design considerations, of the City Engineer and Building Official for building services;
6. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space;
7. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code;
8. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling;
9. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought;
10. The public convenience and welfare will be substantially served;
11. The use of neighboring property will not be substantially injured; and
12. Include any conditions and safeguards which the Board deems appropriate, such as site arrangement, landscaping and hours of operation."

**JOHN COOK  
MAYOR**

**JOYCE WILSON  
CITY MANAGER**

**R. ALAN SHUBERT, PE, CBO  
DEVELOPMENT SERVICES DIRECTOR**



**CITY COUNCIL**  
ANN MORGAN LILLY, DISTRICT 1  
SUSANNAH M. BYRD, DISTRICT 2  
J. ALEXANDRO LOZANO, DISTRICT 3  
MELINA CASTRO, DISTRICT 4  
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EDDIE HOLGUIN JR., DISTRICT 6  
STEVE ORTEGA, DISTRICT 7  
BETO O'ROURKE, DISTRICT 8

**MARCH 11, 2008**

**DEVELOPMENT SERVICES DEPARTMENT**

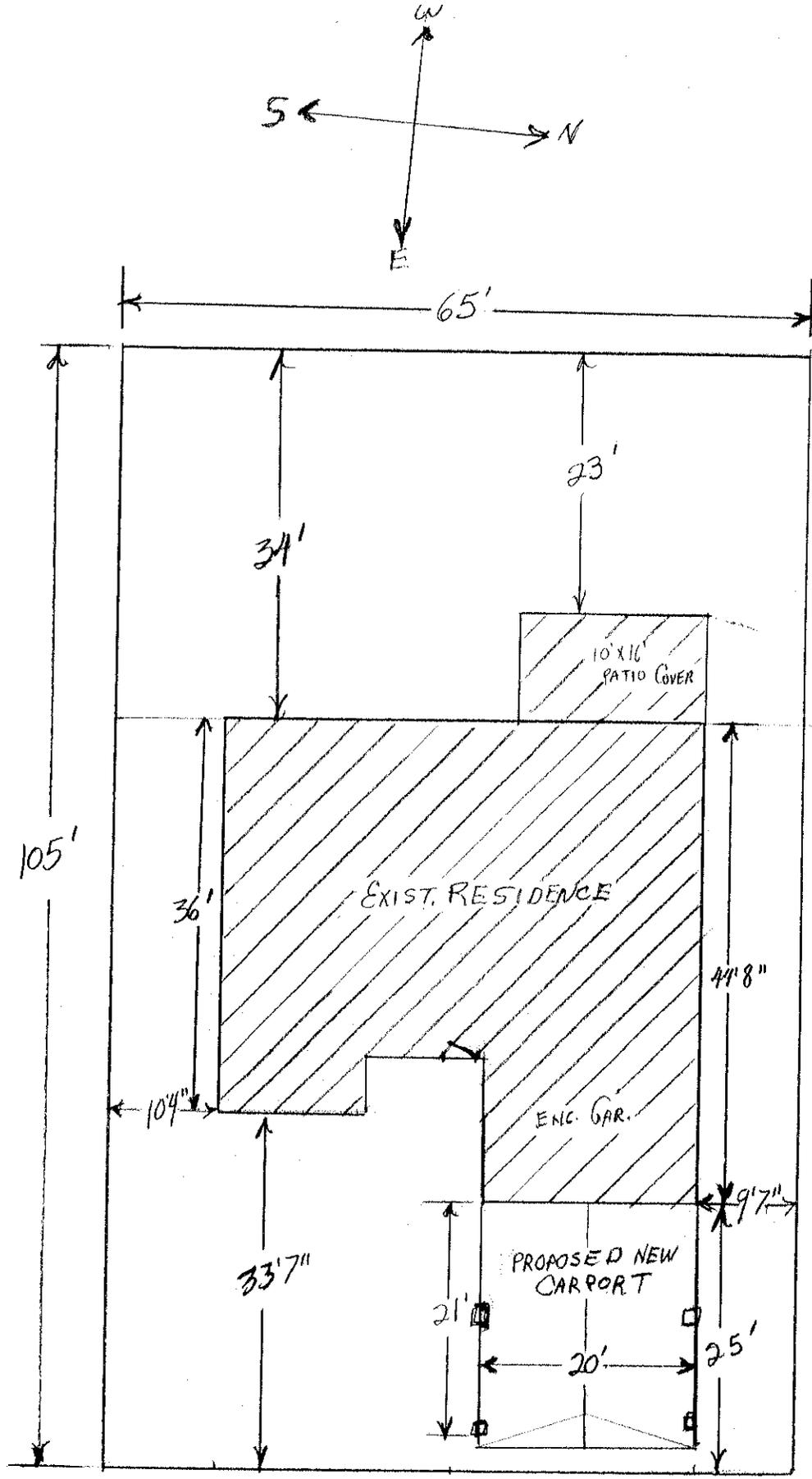
**MEMORANDUM**

**TO:** Zoning Board of Appeals Staff  
**FROM:** Javier De La Cruz, Building Plans Examiner, Building Permits and Inspections Section  
**SUBJECT:** CARPORT CASE FOR March 24, 2008 ZBA MEETING  
**DATE:** March 11, 2008

I have reviewed the plans for ZBA case 08-00022 located at 10769 Port Arthur. The applicant is requesting a Special Q Exception under Title 2.16.050 for a carport over the driveway.

The carport's structural design has been reviewed and has been found to be acceptable.

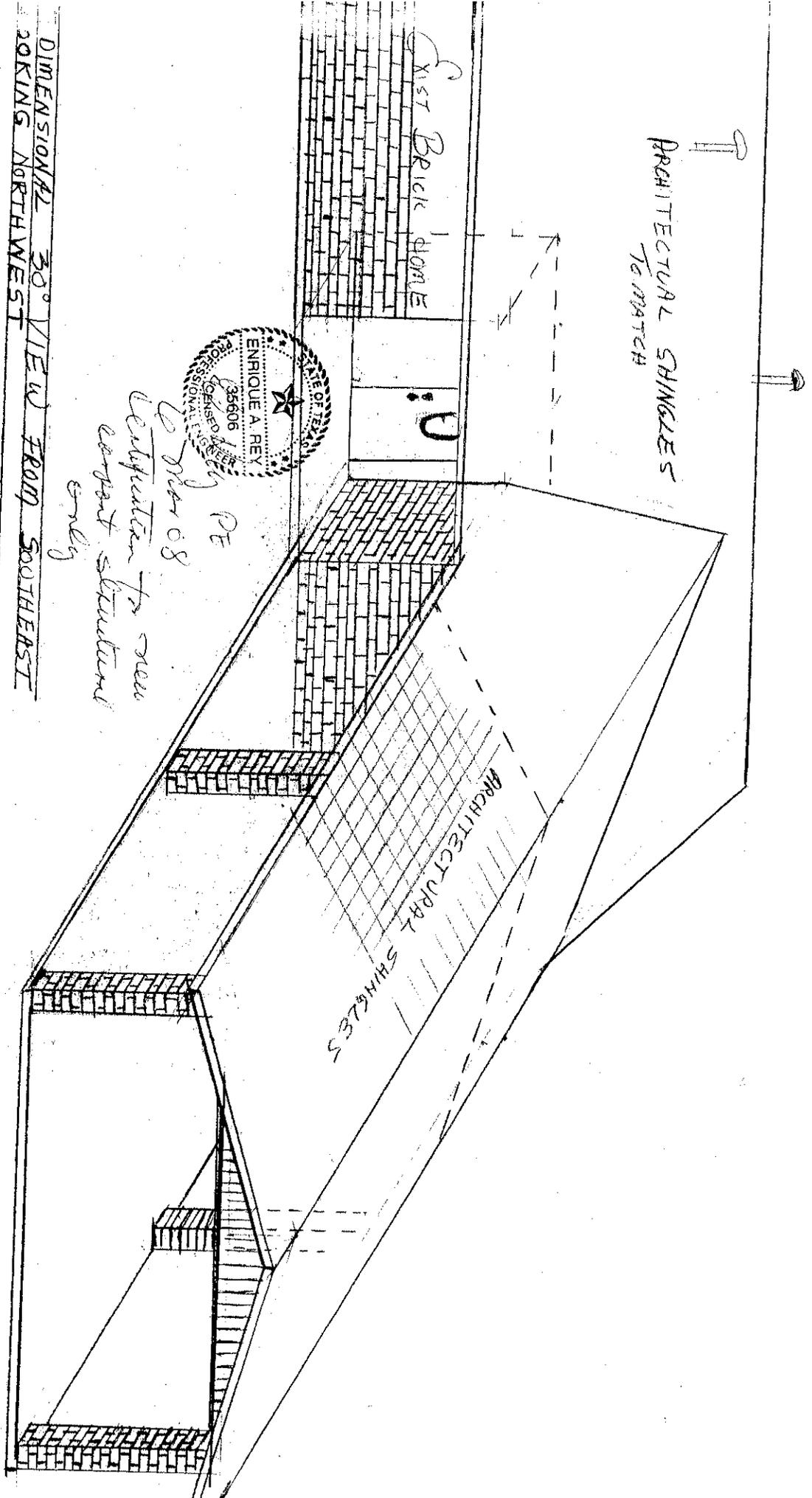
This letter is written pursuant to Title 2.16.050.5 and provides written approval for the carport design based upon structural design considerations from the Building Permits and Inspections section of Development Services.



U.S. No. 08  
 Identification  
 for new  
 carport  
 structural  
 work

PORT ARTHUR

PROPOSED CARPORT FOR MRS. ROLAND SMITH  
 10769 PORT ARTHUR STR. EL PASO, TX  
 1000 1000 5011 1000



ARCHITECTURAL SHINGLES  
MATCH

WEST BRICK HOME



Enrique A. Rey  
Professional Engineer  
35606  
State of Texas  
Ventures to new  
concept structures  
only

DIMENSIONAL 30° VIEW FROM SOUTHEAST  
LOOKING NORTHWEST

10769 PORT BRITAIN - GARPORT (20'x21')  
FOR MR. & MRS. ROLAND SMITH  
11-41

EXIST. HOME

20'

19'3" SPAN FOR TRUSSES

2-4"X10" LAMINATED LINTELS (MEMBERS)

2"X6" RIM

2"X4" TRUSSES ENGINEERED &

BUILT BY EL PASO TRUSS CO

@ 24" O.C / 3/2 PITCH TO

MATCH HOME

4"X10"

9'6" SPAN

2'

9'6" SPAN

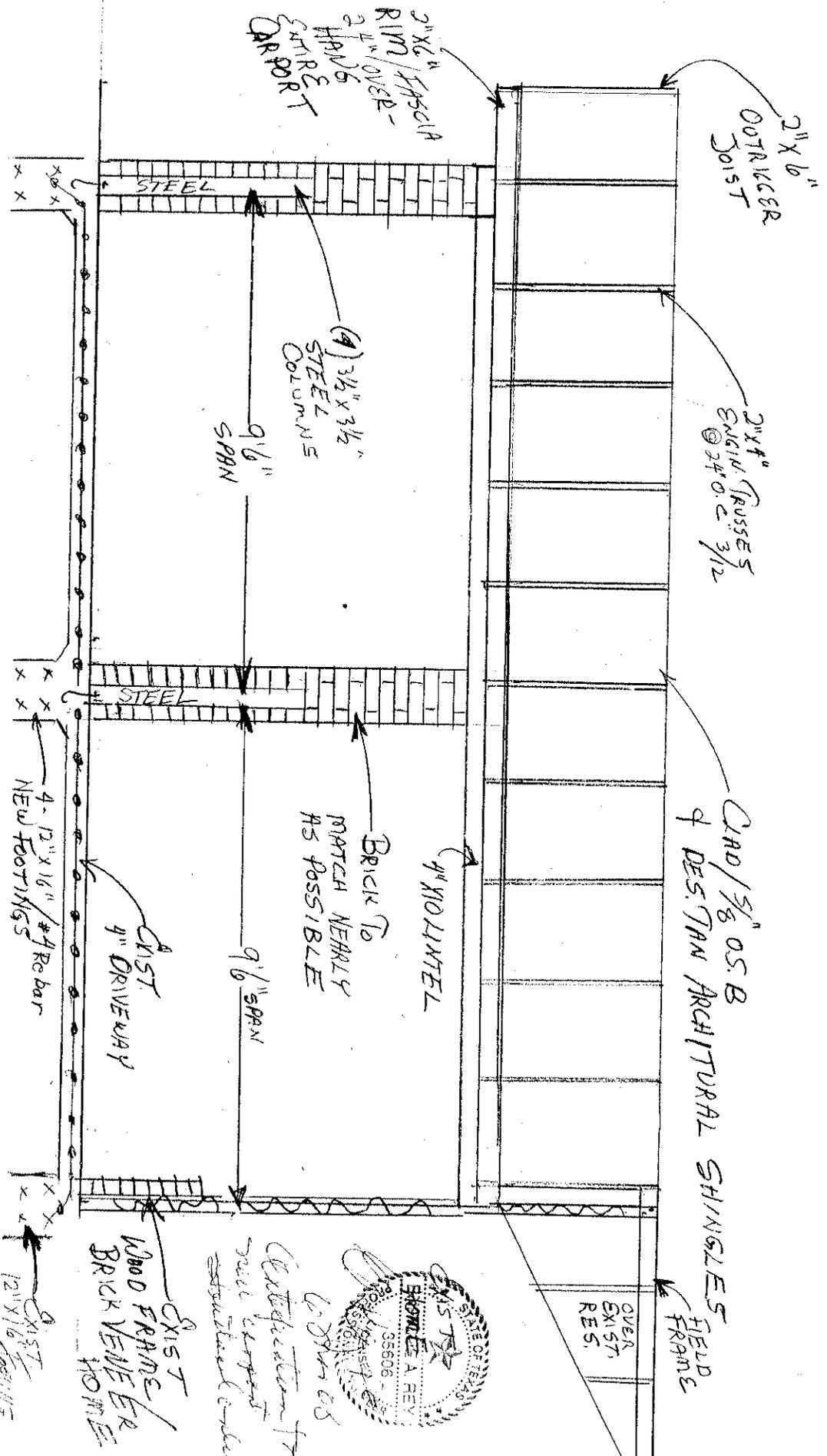


Verification for new component structure only

4/28/08

PROPERTY LINE

SCALE 1"=3'  
10769 PORT ARTHUR



2" X 6" DOTNICKER JOIST

2" X 4" ENGINE TRUSSES @ 24" O.C. 3/12

CRD / 3/8" OS.B & DESTAN ARCHITURAL SHINGLES

FIELD FRAME

2" X 6" FASCIA RIM / OVER-2" X 4" OVER-2" X 4" SATINITE DRIP

(4) 3 1/2" X 3 1/2" STEEL COLUMNS

9' 6" SPAN

BRICK TO MATCH NEARLY AS POSSIBLE

4" X 10" LINTEL

9' 6" SPAN

EXIST 4" DRIVEWAY

4-12" X 16" #4 Rebar NEW FOOTINGS

EXIST WOOD FRAME / BRICK VENEER HOME

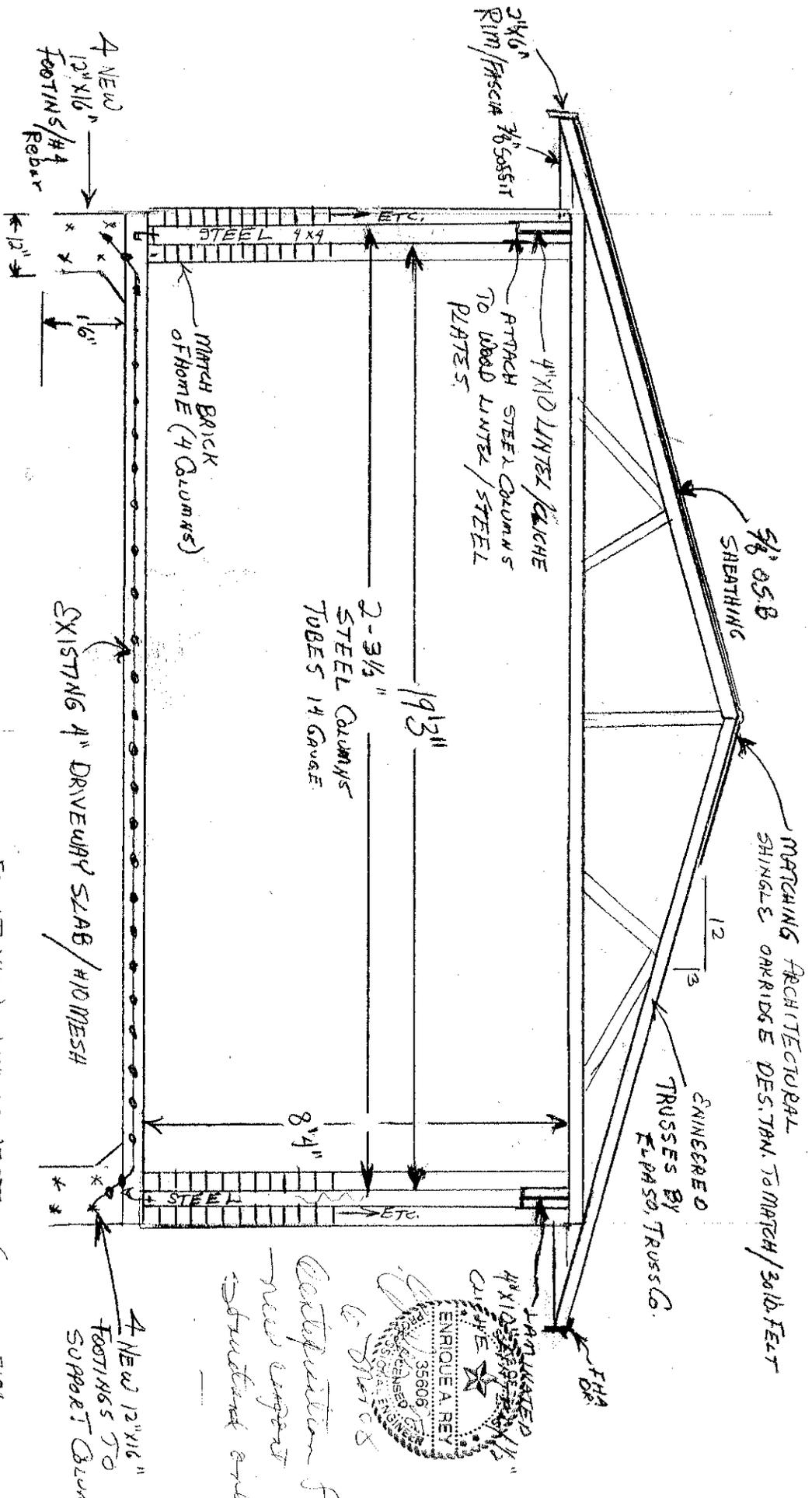
EXIST 12" X 16" FOOTINGS



Check dimensions for your company structural codes

10769 PORT ARTHUR NORTH VIEW LOOKING SOUTH SCALE 1" = 2'

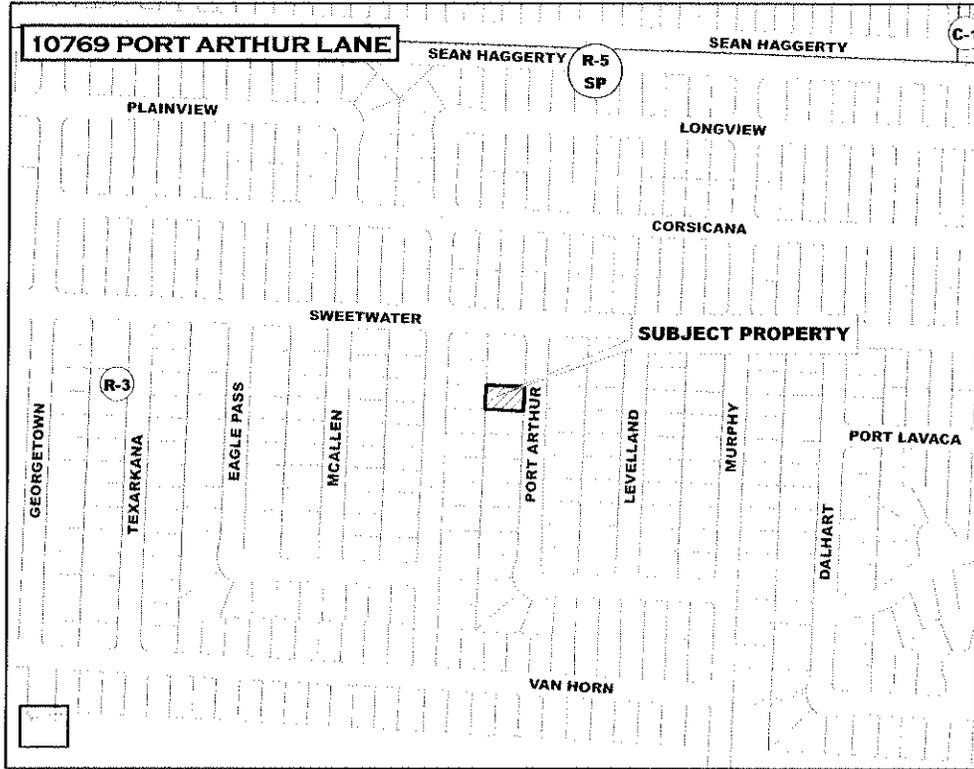
OVER EXIST RES.



FRONT VIEW - LOOKING WEST (TEL 921-7104)  
 ELEVATION VIEW 10769 PORT ARTHUR  
 CARPENT - MR + MRS ROLAND SMITH  
 SC: 11 = 21

MANUFACTURED  
 4" X 10" LINTEL / GUTTER  
 CLIP TO  
 ENRIQUE A. REY  
 35606  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 E. SMITH  
 Certification for  
 new copper  
 structural steel

# ZONING MAP



# NOTIFICATION MAP

