

PZBA13-00006

5533 Woodfield Drive

Gregory and Jill Bowling

Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-1 (Residential) zone.

This would permit a 14'6" by 12' addition to the existing patio and a 14'10" by 9' enclosed addition, of which an approximate total width of 29.33' by 11' portion is proposed to encroach into the required rear yard setback and to be located to within 38 feet of the rear property line.

The required front and rear yard cumulative setback total in the R-1 zone district is 100 feet.

BACKGROUND

The ZBA granted Special Exceptions to the subject property on June 12, 2006 for an encroachment into the required rear yard setback and for a carport encroaching into the required front yard setback. The applicants are now requesting the Special Exception C for an addition to the patio, a new bathroom and new master bedroom closet which are proposed to encroach into the required rear yard setback.

CALCULATIONS

Permitted area of encroachment in required rear yard = 1,567.27 sq. ft. (68.74' [206' lot width ÷ 3] x 22.80' [3/5 of 38'])

Previously granted area of encroachment in rear yard = 275.94 sq. ft. (50.66' x 9' = 455.94 sq. ft., less permitted porch area of 180 sq. ft. = 275.94 sq. ft.)

New requested area of encroachment = 322.63 sq. ft. (29.33' x 11')

Required front and rear yard setback total = 100'

Requested front and rear yard setback total = 62.5'

STAFF RECOMMENDATION

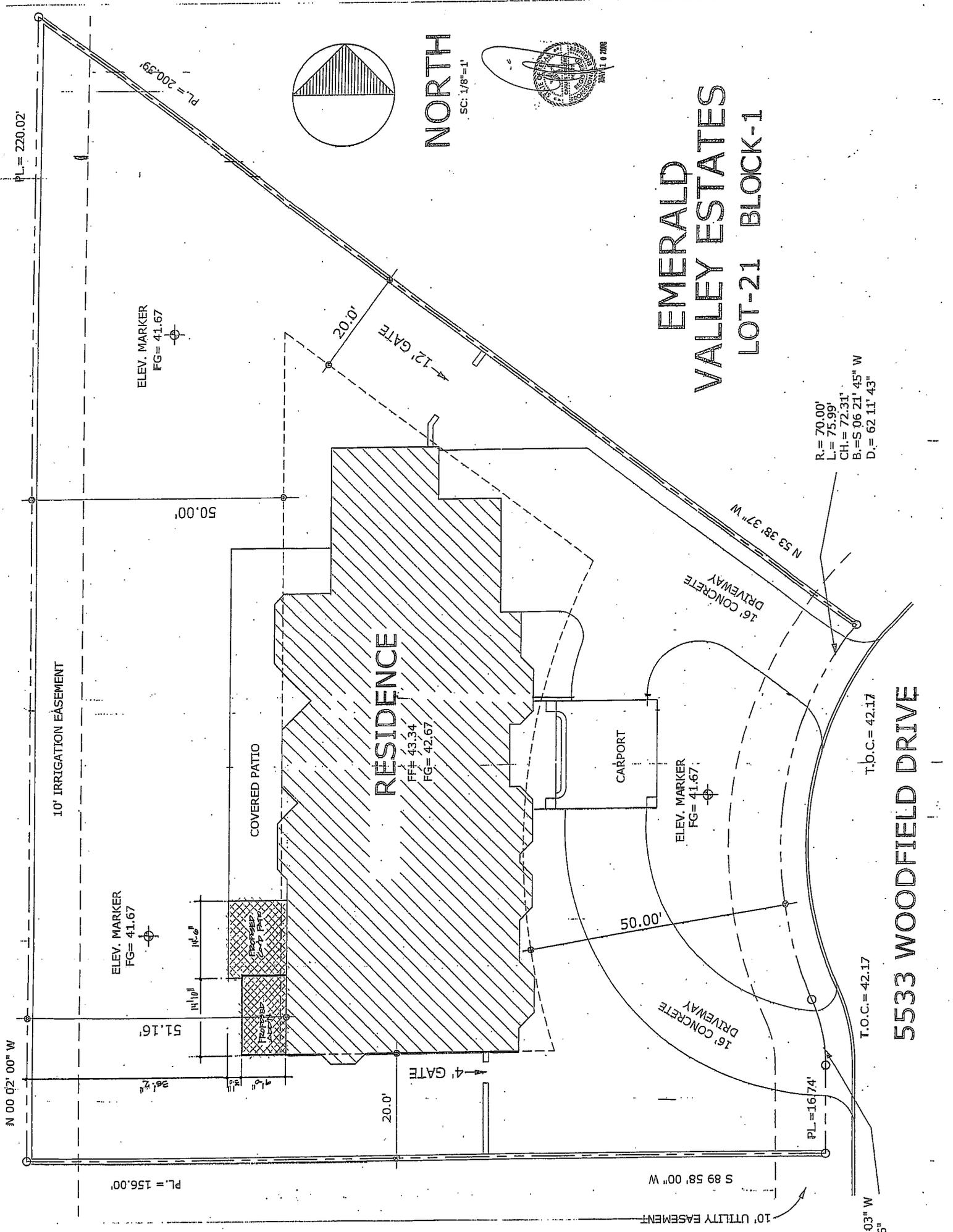
Staff recommendation is for approval of the request as it meets the requirements of the Special Exception C.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

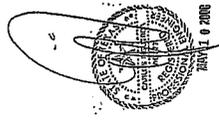
"Permit an extension of a single-family residential structure into the required rear yard setback, which shall be measured to the rear property line; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard setback;
3. A minimum ten-foot rear yard setback shall be required;
4. The minimum side and side street yard setbacks shall not be reduced; and
5. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space."

ITEM #1



NORTH
 SC: 1/8"=1'



**EMERALD
 VALLEY ESTATES
 LOT-21 BLOCK-1**

R. = 70.00'
 L. = 75.99'
 CH. = 72.31'
 B. = S 06 21' 45" W
 D. = 62 11' 43"

RESIDENCE
 FF# 43.34
 FG# 42.67

CARPORT

ELEV. MARKER
 FG = 41.67

ELEV. MARKER
 FG = 41.67

ELEV. MARKER
 FG = 41.67

10' IRRIGATION EASEMENT

10' UTILITY EASEMENT

5533 WOODFIELD DRIVE

PL. = 220.02'

50.00'

50.00'

12' GATE

4' GATE

16' CONCRETE DRIVEWAY

16' CONCRETE DRIVEWAY

N 53 38' 37" W

T.O.C. = 42.17

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PL. = 16.74'

S 89 58' 00" W

N 00 02' 00" W

PL. = 156.00'

51.16'

14' 6"

14' 10"

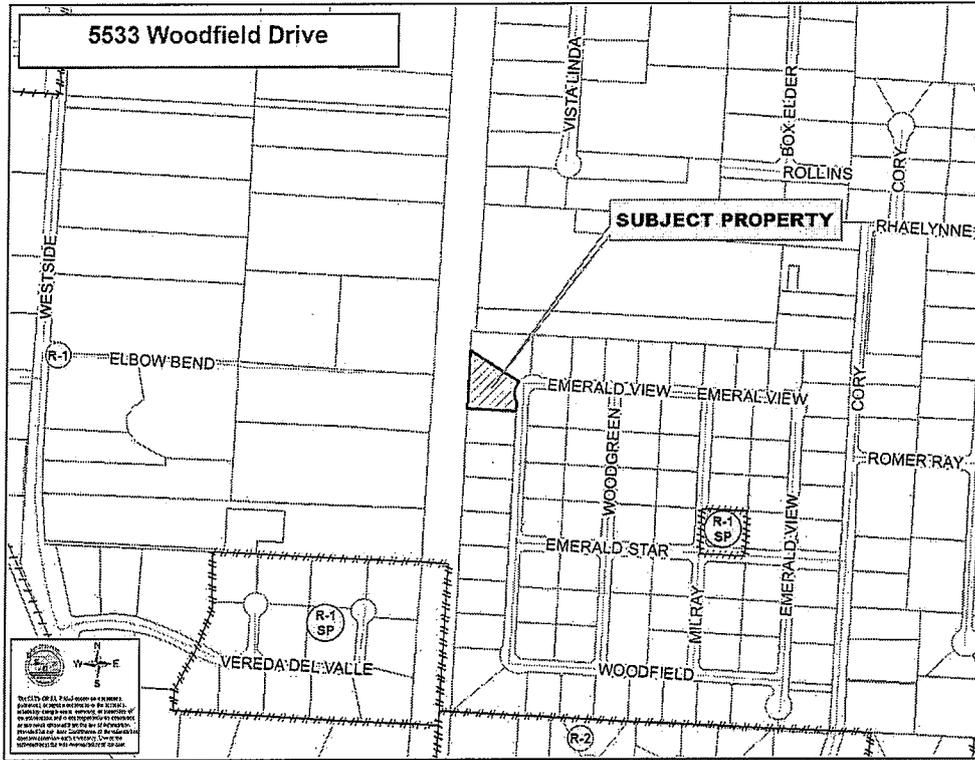
28' 2"

1' 0"

20.0'

0'
 4'
 83'
 23' 03" W
 2' 06"

ZONING MAP



NOTIFICATION MAP

