

Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-3 (Residential) zone.

The request is for a 294 square feet addition of which approximately 120 square feet are proposed to encroach in the required rear yard setback and to be located to within 21 feet of the rear property line.

The required front and rear yard cumulative setback total is 50 feet in the R-3 zone district.

BACKGROUND

The applicants are requesting an addition to their living/dining area that is proposed to encroach a depth of approximately 4 feet into the required rear yard setback.

CALCULATIONS

Permitted square feet encroachment = 368.74 sq. ft. (24.58' [73.75' lot width ÷3] x 15' [3/5 of 25'])

Requested square feet encroachment = 116 sq. ft. (29' x 4')

Required rear yard setback = 25'

Requested rear yard setback = 21'

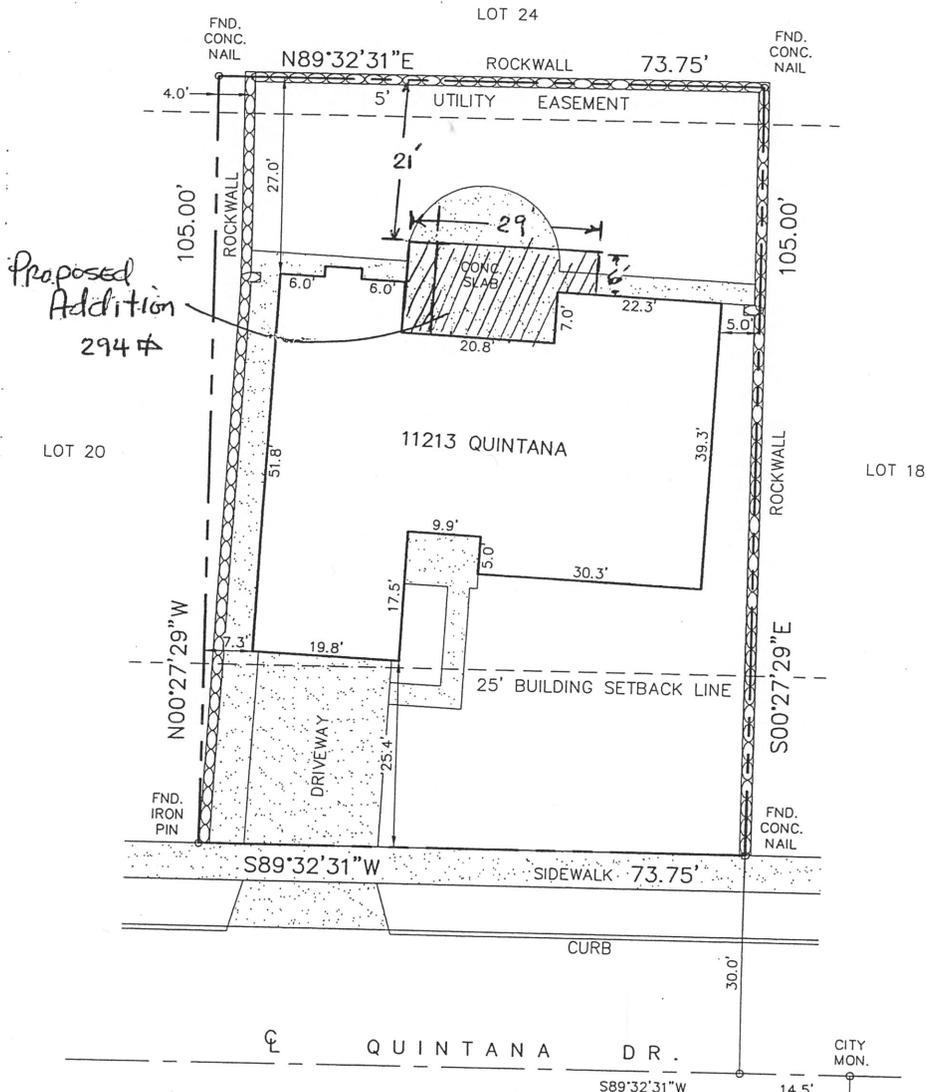
STAFF RECOMMENDATION

Staff recommends approval of the request as it meets the requirements of the Special Exception C.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard;
3. A minimum ten foot rear yard setback shall be required;
4. The minimum side and side street yards shall not be reduced;
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet;
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and
7. The extension shall not permit the creation of an additional dwelling unit for rental purposes.



This lot is not located in a flood hazard area as determined by the FIRM by U.S. Federal Emergency Management Agency National Flood Insurance Program.

CERTIFICATION

I hereby certify that the foregoing Boundary and Improvement Survey was made by me or under my supervision and that there are no encroachments except as shown. Only platted easements are shown.

Manuel Calderon
Manuel Calderon
Registered Professional Land Surveyor No. 2564

This survey plat has been reviewed by the undersigned and conditions shown hereby noted.

Rebecca [Signature]

BEARING ORIENTATION AS PER PLAT OF MAP OF INDIAN RIDGE SUBDIVISION UNIT 2

Book 54 Page 11 Job No. 408-190

11213 QUINTANA DR.,
LOT 19, BLOCK 21,
MAP OF INDIAN RIDGE SUBDIVISION UNIT 2,
CITY OF EL PASO,
EL PASO COUNTY, TEXAS

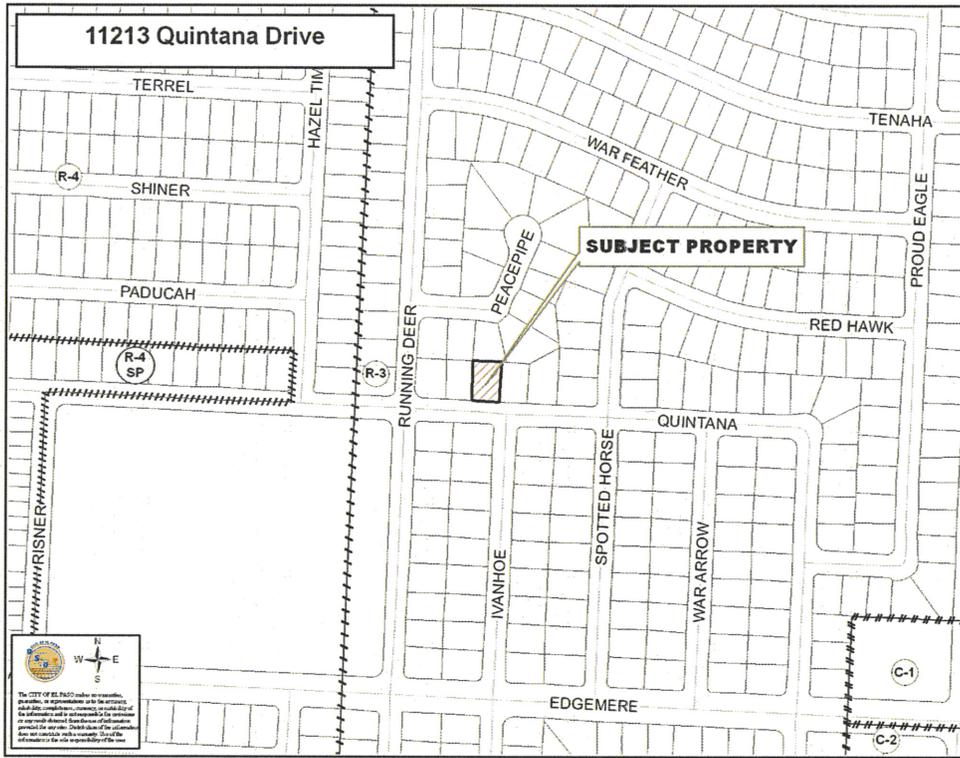
Field MH Office MC-C6 Date 04-25-08 Scale 1"=20'

CALDERON ENGINEERING

CIVIL - STRUCTURAL
3031 TRAWOOD DR.

EL PASO, TEXAS 79936 (915) 855-7552

ZONING MAP



NOTIFICATION MAP

