

Applicants request a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-3 (Residential) zone.

The request is for a 23.5' by 20' carport that is proposed to be located to within 5 feet of the front property line.

The required cumulative front and rear yard setback total is 50 feet in the R-3 zone district.

BACKGROUND

The applicants are requesting a carport that will match the existing house in materials and design. The carport roof shall not rise higher than the roof of the house. Engineering & Construction Management is reviewing the structural plans.

CALCULATIONS

Permitted carport area = 480 sq. ft. (2,400 sq. ft. first floor area ÷ 5)

Requested area of carport = 470 sq. ft. (23.5' x 20')

Required front yard setback = 25'

Requested front yard setback = 5'

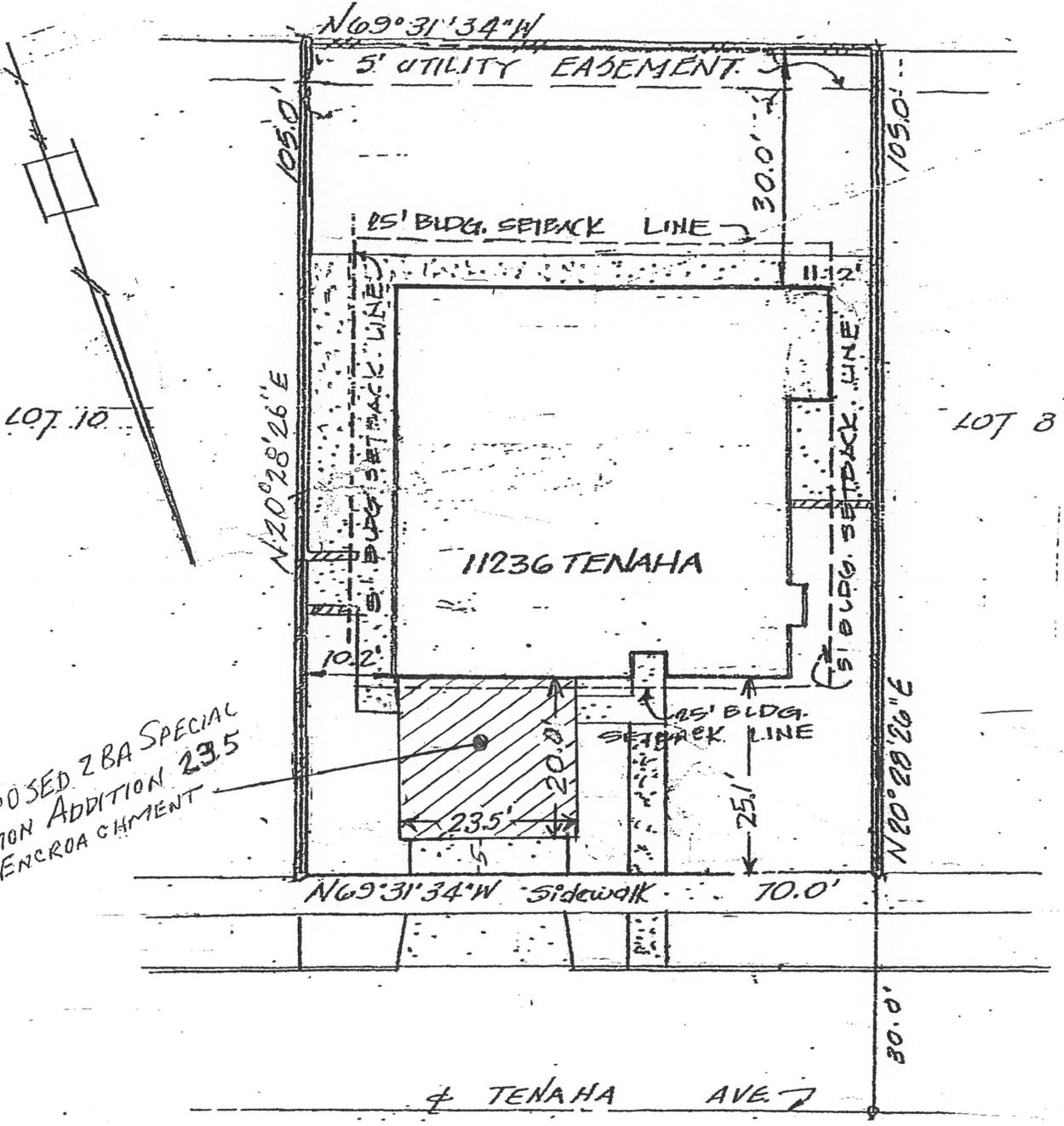
STAFF RECOMMENDATION

Staff recommends approval of the request for the Special Exception K, pending receipt of the structural review.

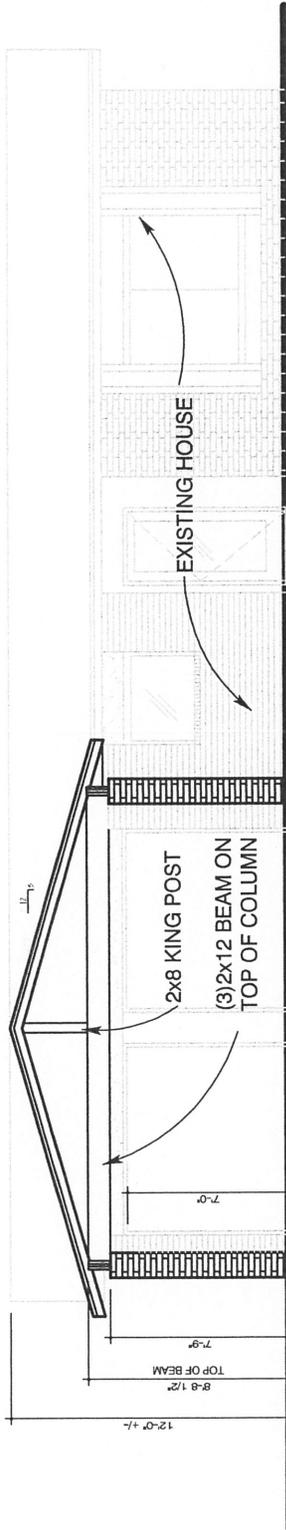
The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit for rental purposes nor shall it constitute an extension of the living area of the dwelling.

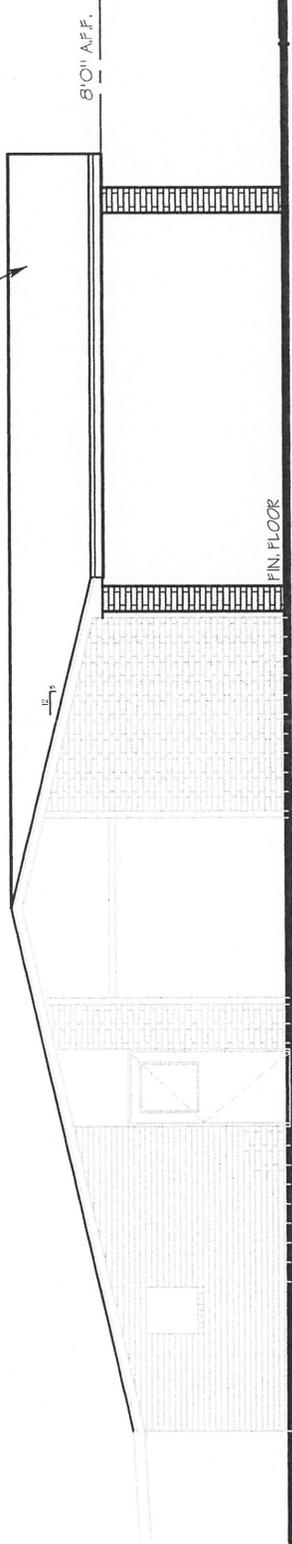


PROPOSED ZBA SPECIAL
 EXCEPTION ADDITION 23.5
 SQ FT ENCROACHMENT



ELEVATION "A"

COMPOSITION ROOF SHINGLE / MATCH EXISTING



ELEVATION "B"

ELEVATIONS

1/8" = 1'

CARPORT ADDITION
DUNLAP RESIDENCE
11236 TENAHA EL PASO, TX.

ROOF SHINGLES TO MATCH
HOUSE - 30# FELT UNDER
SHINGLES

2x12 MICRO LAM

19/32
ROOF SHEATHING

2x8
X90 ON BOTTOM
OF RAFTERS

BEAMS ON TOP OF COLUMNS
ARE 3- 2x12
1x6 ON BOTTOM
OF BEAMS

2x8
RAFTER
2x8
FASCIA

THE INTO EXISTING FASCIA

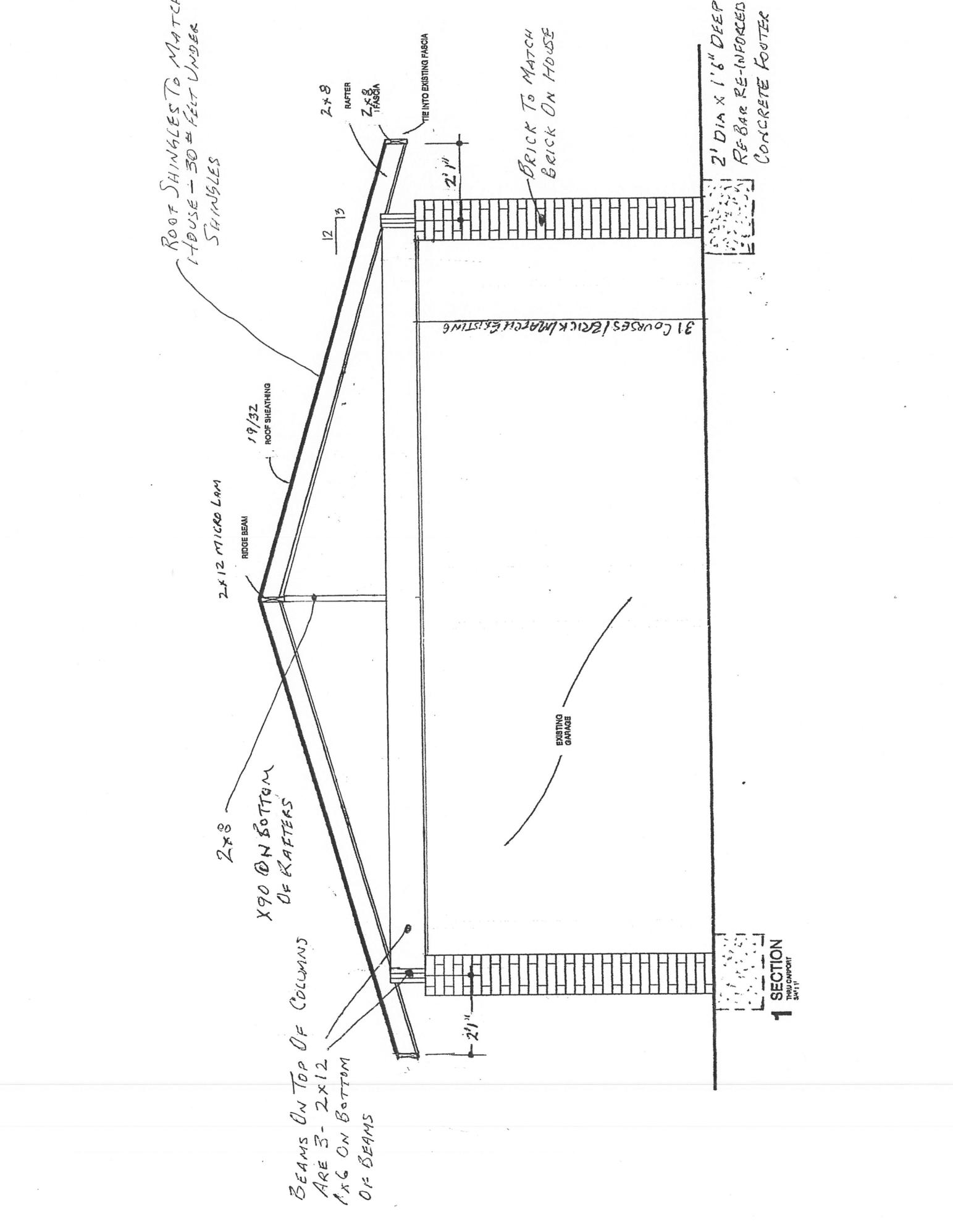
31 COURSES BRICK/MARBLE EXISTING

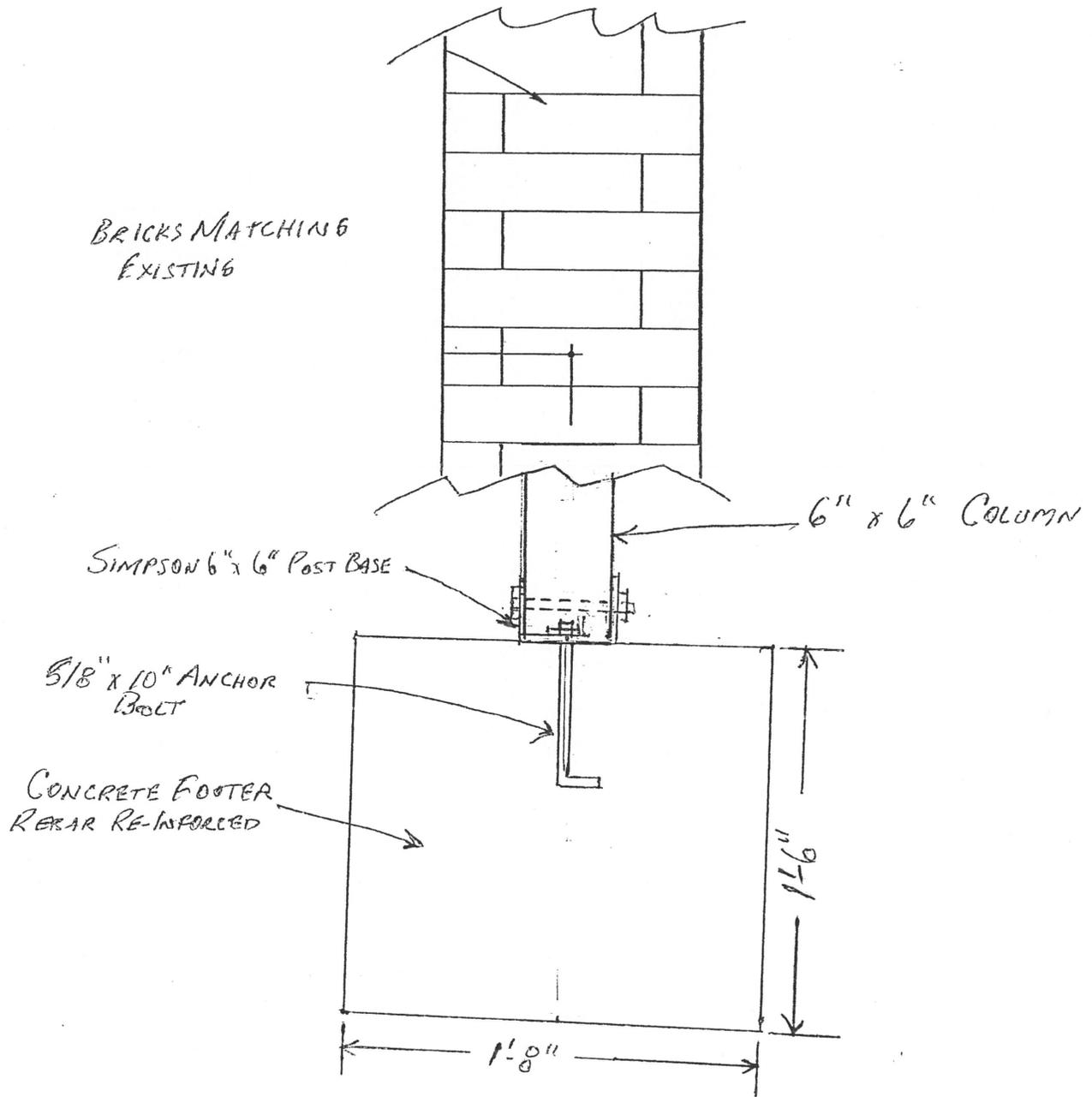
BRICK TO MATCH
BRICK ON HOUSE

2' DIA X 1'6" DEEP
RE-BAR RE-INFORCED
CONCRETE FOOTER

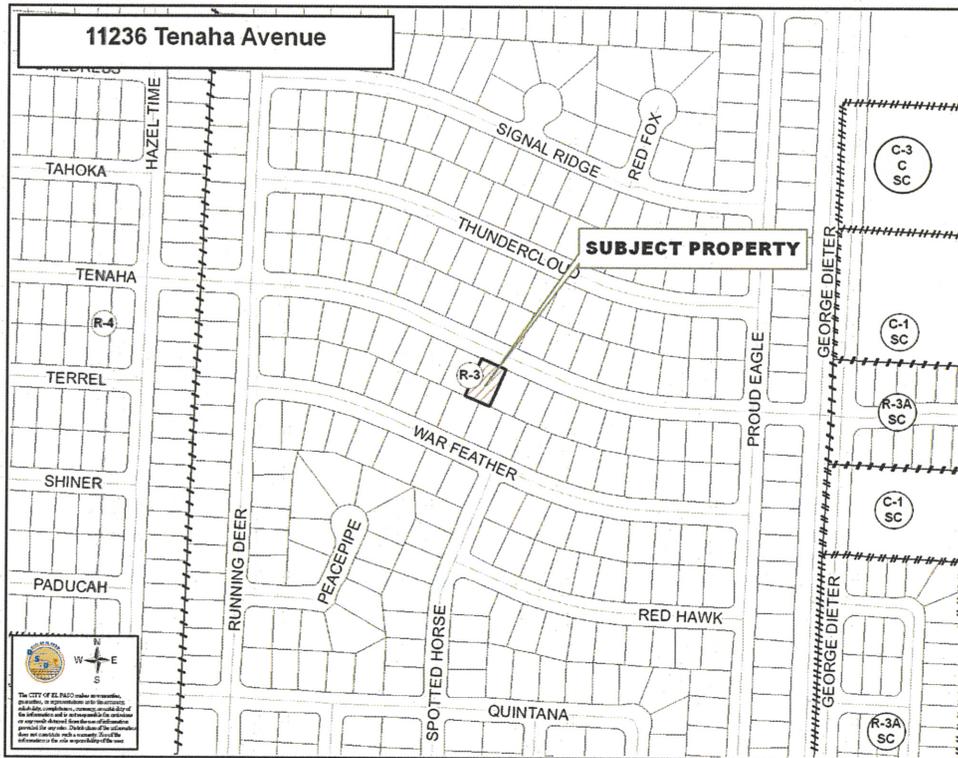
EXISTING
GARAGE

1 SECTION
THRU GARPORT
3/4" = 1'





ZONING MAP



NOTIFICATION MAP

