

Applicant request a Special Exception under Section 2.16.050 K (In existence fifteen years or more) in a C-2 (Commercial) zone.

This would permit the encroachment of an existing 445.5 sq. ft. porch/carport on a commercial building, which is encroaching 9' (297 sq. ft. total) into the required side yard setback and is located within 1' of the side property line, to remain.

The required side setback is 10 feet in the C-2 (Commercial) zone district when abutting residential or apartment zoning districts.

BACKGROUND

The applicant is requesting Special Exception K to allow the existing encroachments into the side yard setback for a 9' x 33' porch/carport addition. The applicants have provided a 1996 aerial map and central appraisal records indicating the year built as 1963. The 1996 aerial shows the property existing then as it does today, with the porch/carport structure in its current configuration.

The Planning Division has not received any communications in support or opposition to the special exception request.

CALCULATIONS

Required side yard setback = 10' when abutting residential

Requested side yard setback = 1'

STAFF RECOMMENDATION

Staff recommends approval of the special exception request as the requested encroachment has been in existence for more than 15 years with the following conditions:

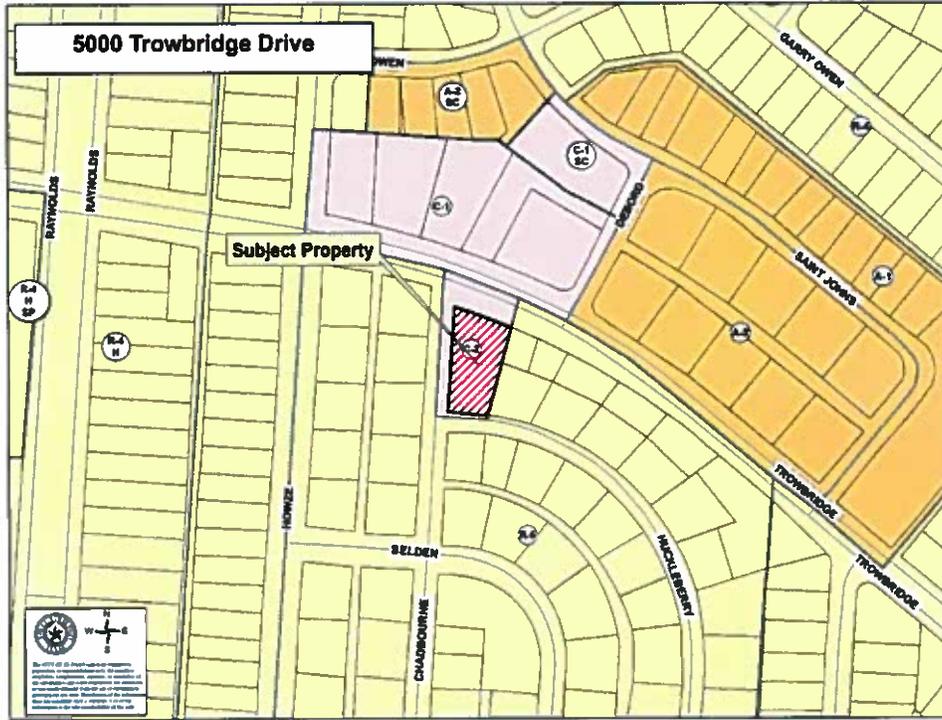
1. *The existing signage on the property be removed in compliance with applicable zoning code*
2. *The existing carport shall be fire rated.*

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

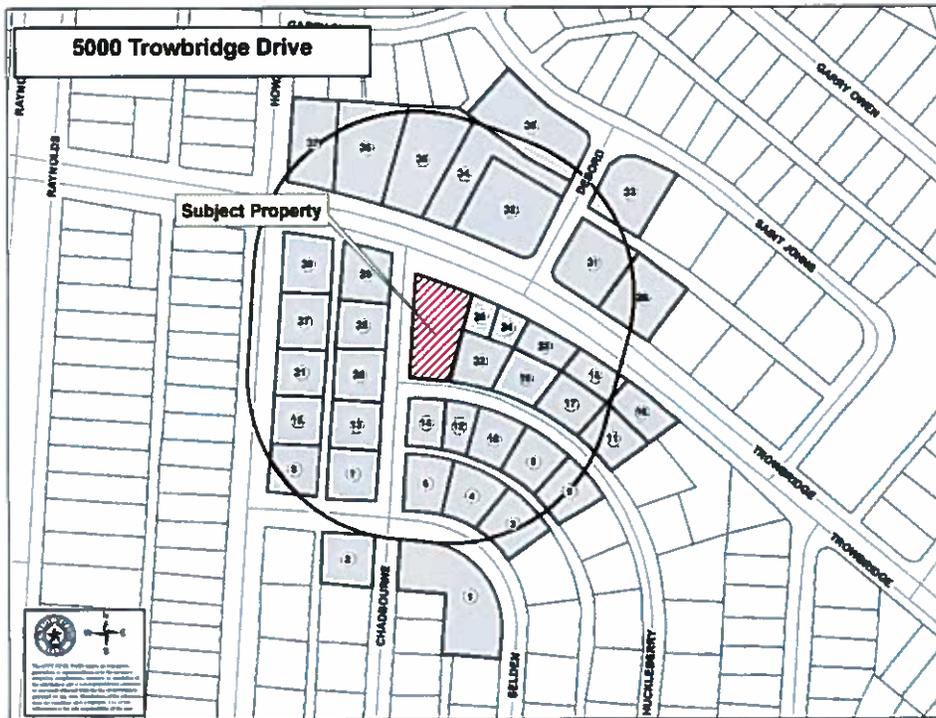
“Permit the encroachment into the required yard setbacks for structures; provided, however, that the applicant can prove the following conditions:

1. The encroachment into the required yard setback has been in existence for more than fifteen years;
2. Neither the applicant nor current property owner is responsible for the construction of the encroachment;
3. Neither the applicant nor the current property owner owned the property at the time the encroaching structure was constructed or built;
4. The encroachment, if into the required front yard setback, does not exceed fifty percent of the required front yard setback; and
5. The encroachment does not violate any other provision of the El Paso City Code.”

ZONING MAP

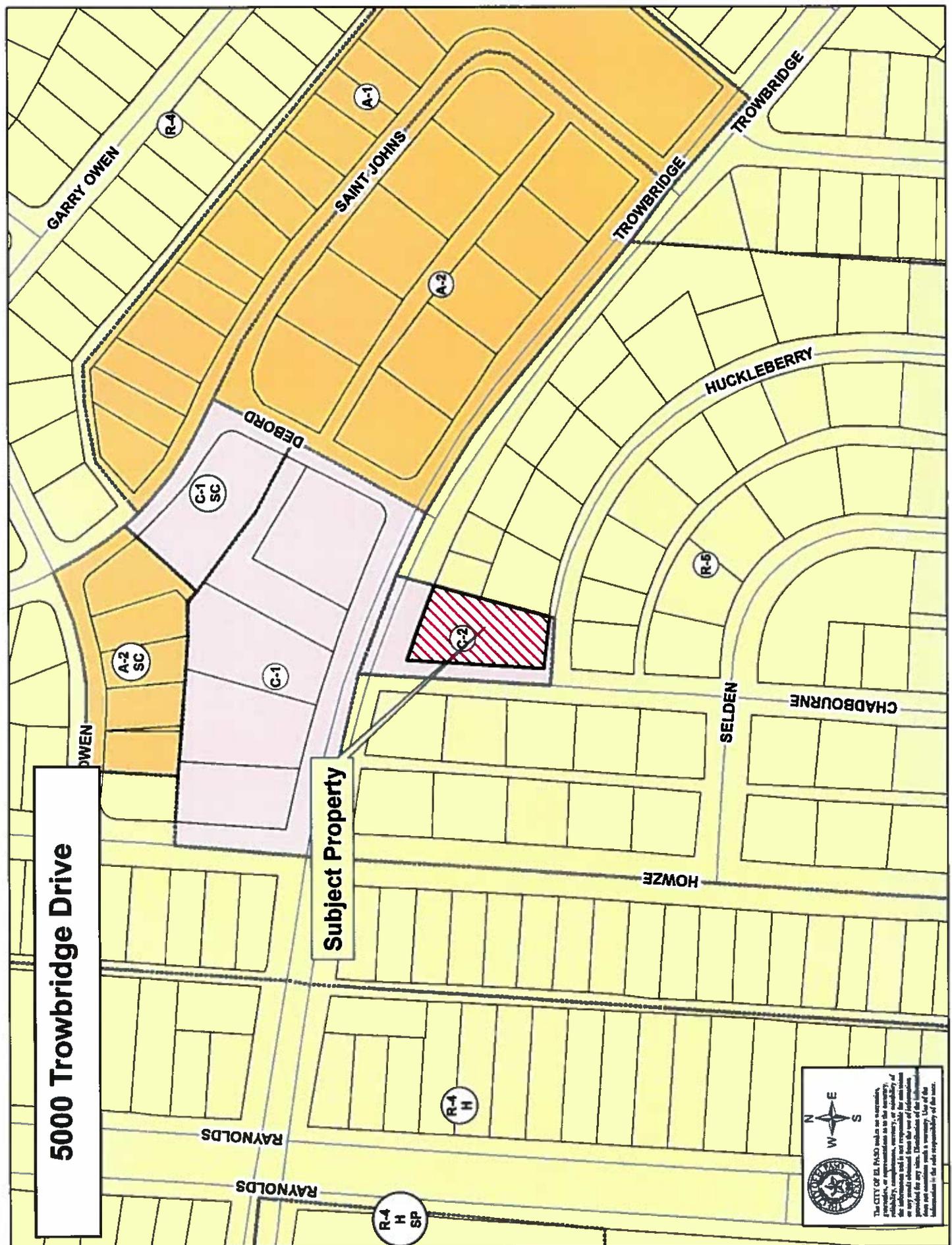


NOTIFICATION MAP



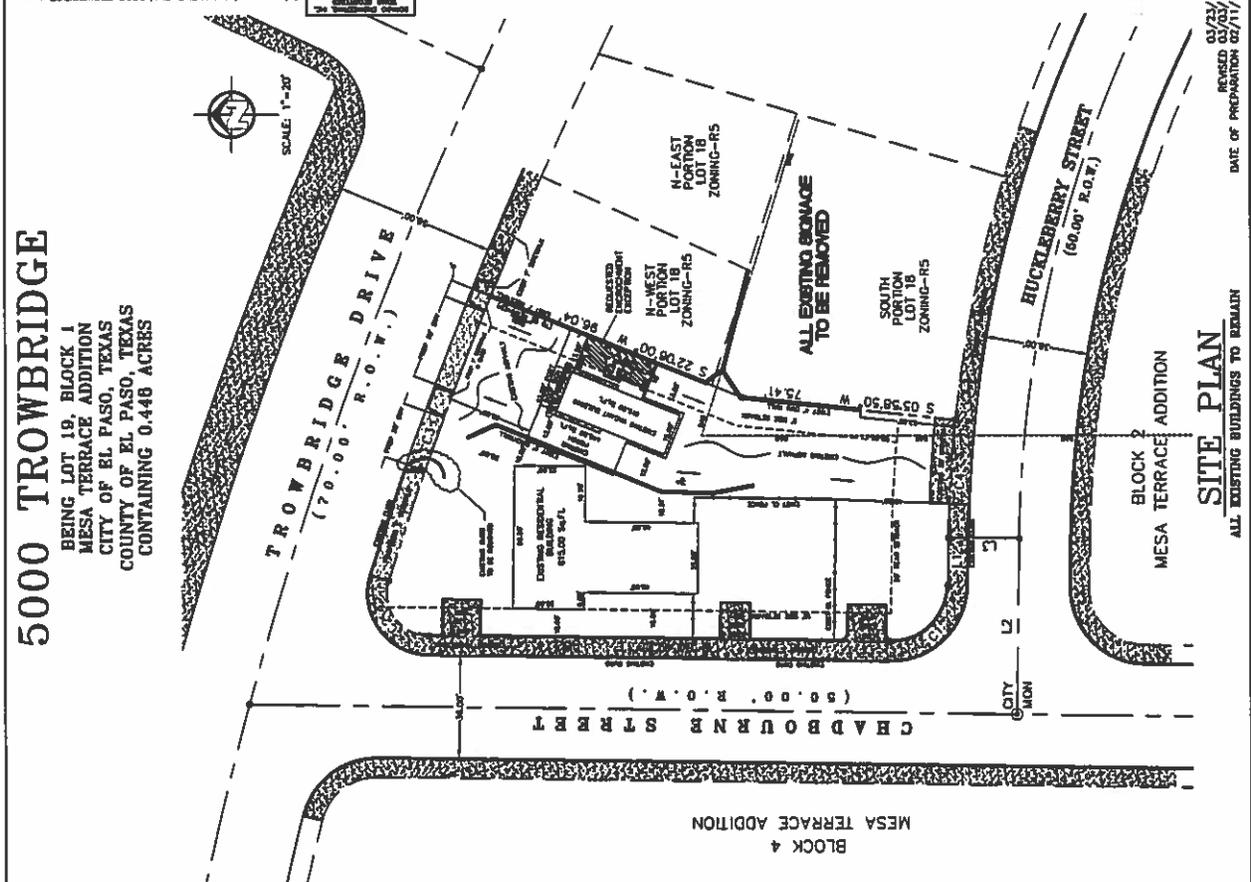
5000 Trowbridge Drive

Subject Property



CITY OF EL PASO

The CITY OF EL PASO makes no warranty, representation, or guarantee as to the accuracy, completeness, or reliability of the information and is not responsible for any errors or omissions. Use of this information is at the user's sole risk and responsibility.



BENCH MARK
 CITY SURVEYING AT THE
 INTERSECTION OF CHABOURNS STREET &
 TROWBRIDGE DRIVE, EL PASO, TEXAS
 CITY SURVEYING (2014)

FLOOD ZONE
 NOT IN FLOOD ZONE OR OTHERWISE
 REGULATED BY THE FLOOD DAMAGE PREVENTION
 ACT OF 1954, AS AMENDED, OR ANY
 OTHER FEDERAL, STATE, OR LOCAL
 LAW, REGULATION, ORDINANCE, OR
 CONTRACT.

SCHOOL DISTRICT
 EL PASO I.S.D.

PARKING SPACES
 NOT REQUIRED (EXCEPT AS TO BEING REQUIRED)

5000 TROWBRIDGE

SURVEYOR
 LARRY D. BROWN, INC.
 138 FREDERICK ROAD
 EL PASO, TX 79905
 (915) 784-1180
 (915) 784-2000

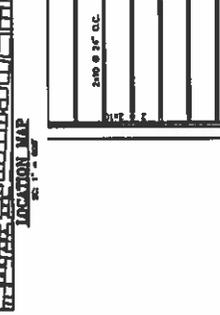
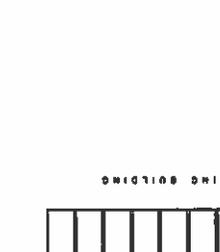
STREET CLASSIFICATION
 TROWBRIDGE DR. - LOCAL (NEEL BAR COLLECTION)
 CHABOURNS ST. - LOCAL (NEEL BAR COLLECTION)
 HUCKLEBERRY ST. - LOCAL (NEEL BAR COLLECTION)



NOTE: NO ELECTRICAL LAYOUT REQUIRED

LINE	LENGTH	BEARING
1.	17.80	N 82°11'00" E
2.	13.40	N 82°11'00" E
3.	25.00	N 82°11'00" E

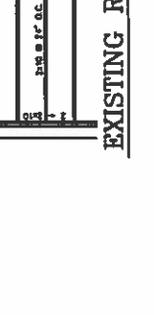
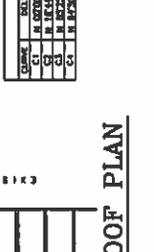
CURVE	BEARING	LENGTH OF CURVE	LENGTH OF TANGENT	LENGTH OF CHORD
C1	N 82°11'00" E	20.00	11.00	18.00
C2	N 82°11'00" E	20.00	11.00	18.00
C3	N 82°11'00" E	20.00	11.00	18.00
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