

Applicant request a Special Exception under Section 2.16.050 B (Two or More Non-Conforming) in an R-5/H (Residential/Historic) zone.

Special Exception B would allow a new 572 sq. ft. garage which is proposed to be located to within zero feet (0') of the rear property line and zero feet (0') of the side property line.

The required rear yard setback is 10 feet and the required side yard setback is 5 feet in the R-5/H zone district.

The property is registered as legally non-conforming for its west side yard, the primary structure being located to within 3.1' feet of the property line.

BACKGROUND

The applicant has applied for Special Exception B based on existing non-conforming structures in the rear and side yards of 805 Upson and 809 Upson, both of the same nature as the proposed construction.

The property is in an old subdivision, platted in 1903. The subject property was constructed in 1930. Both comparison properties, 805 and 809 Upson, were also built in 1930, and occupy the same block, on the same side, as the subject property.

The applicant has proposed, and has since carried out, the demolition of the storage structure attached to the residence shown in the site plan encroaching in the west side yard.

CALCULATIONS

Required rear yard setback = 10'

Required side yard setback = 5'

Requested rear yard setback = 0'

Requested side yard setback = 0'

STAFF RECOMMENDATION

Staff recommends approval of the request as it meets the requirements of the Special Exception B.

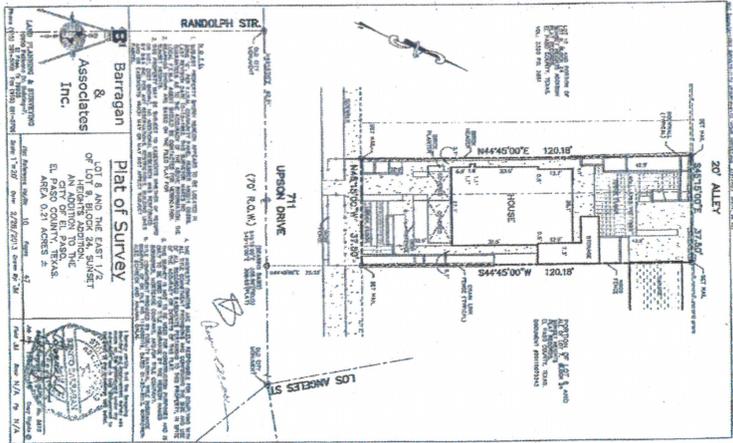
The Zoning Board of Adjustment is empowered under Section 2.16.050 B to:

“Permit the modification of setback requirements as the board deems necessary to secure an appropriate development of a lot; provided, however, that:

1. The lot is in a legally recorded and developed subdivision of at least ten years;
2. There are two or more lots that do not conform to Title 20 located within the same block on the same side of the street or within the block directly across and abutting the street;
3. The modifications are in the same nature as the existing nonconforming lots and do not permit construction less conforming than the least conforming of the nonconforming lots; and
4. If the subject lot is located at the intersection of two streets (a corner lot), then nonconforming lots within the same block on the same side of either intersecting street or directly across and abutting either intersecting street, but not lots located diagonally from the subject lot, may be used in determining the nonconforming lot restrictions of this special exception.”

LEGAL DESCRIPTION

LOT 8 AND THE EAST 1/2 OF LOT 9, BLOCK 24, SUNSET HEIGHTS
 AN ADDITION TO THE CITY OF EL PASO
 711 UPSON DRIVE
 EL PASO, TEXAS
 PROPOSED GARAGE: 572 SQ. FT.



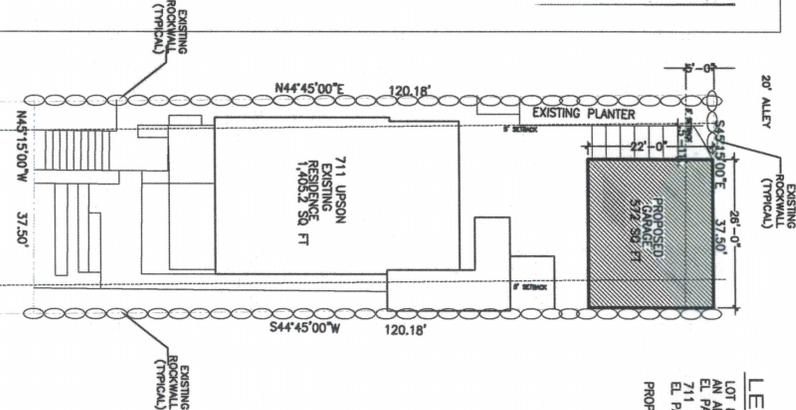
SURVEY

SCALE: 1" = 20'-0"

FRAMING NOTES

1. ALL STRUCTURAL LUMBER FOR FLOOR, ROOFS AND CEILINGS SHALL BE #2 & BETTER OR BETTER. F9 = 1050 P.S.I. E = 1,300,000 P.S.I.
2. EXTERIOR BEARING WALLS SHALL BE 2 X 4 @ 16" O.C.
3. INTERIOR LOAD WALLS SHALL BE 2 X 4 @ 16" O.C.
4. Hangers SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

2'-0" TO 3'-0"	2-2X8
3'-1" TO 5'-0"	2-2X10
5'-1" TO 8'-0"	2-2X12
8'-1" TO 11'-0"	2-2X12
5. USE 3/4" C.D.X. PLYWOOD OR 3/4" O.S.B. ROOF DECLINING
6. PROVIDE ALL METAL FASTENERS, JOIST HANGERS, CLIPS, ETC. AS REQUIRED FOR COMPLETE WORKMANLIKE JOB.
7. ALL STEEL ANGLES AND BEAMS TO BE ASIN A56 WITH ADEQUATE
8. ALL JOIST TO BE SET LEVEL AND ROOF SLOPE CREATED BY RIPPERS

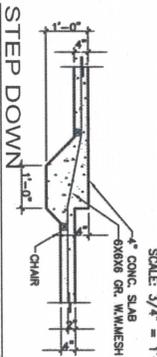


RESIDENCE SITE PLAN

SCALE: 1" = 10'-0"

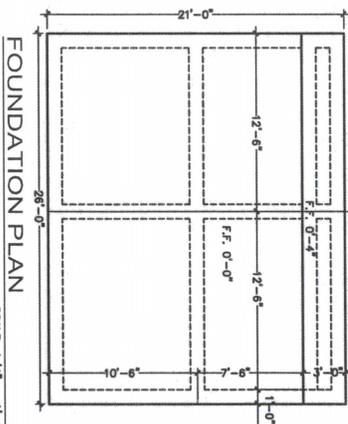
EXTERIOR GRADE BEAM

SCALE: 3/4" = 1'-0"



STEP DOWN

SCALE: 3/4" = 1'-0"

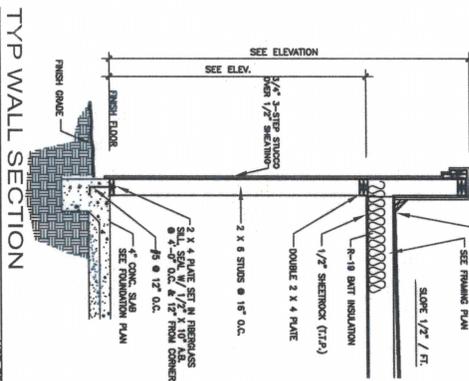


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

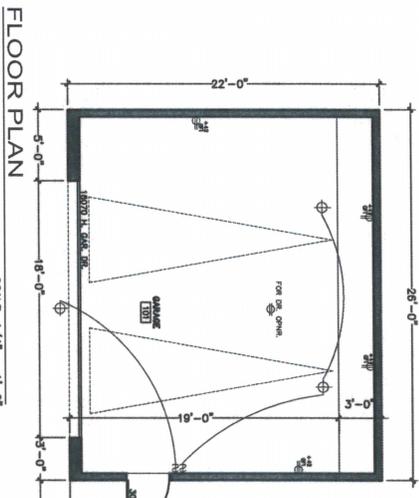
TYP WALL SECTION

NOT TO SCALE



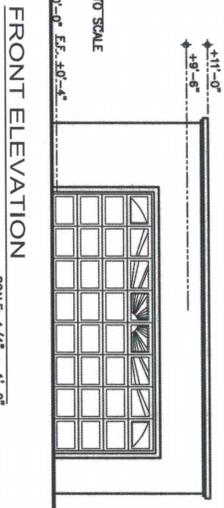
FLOOR PLAN

SCALE: 1/4" = 1'-0"



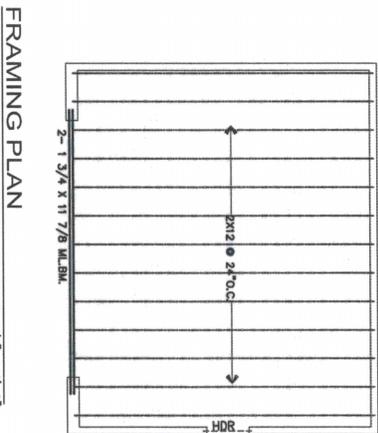
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



FRAMING PLAN

SCALE: 1/4" = 1'-0"



NEW DETACHED 2 CAR GARAGE

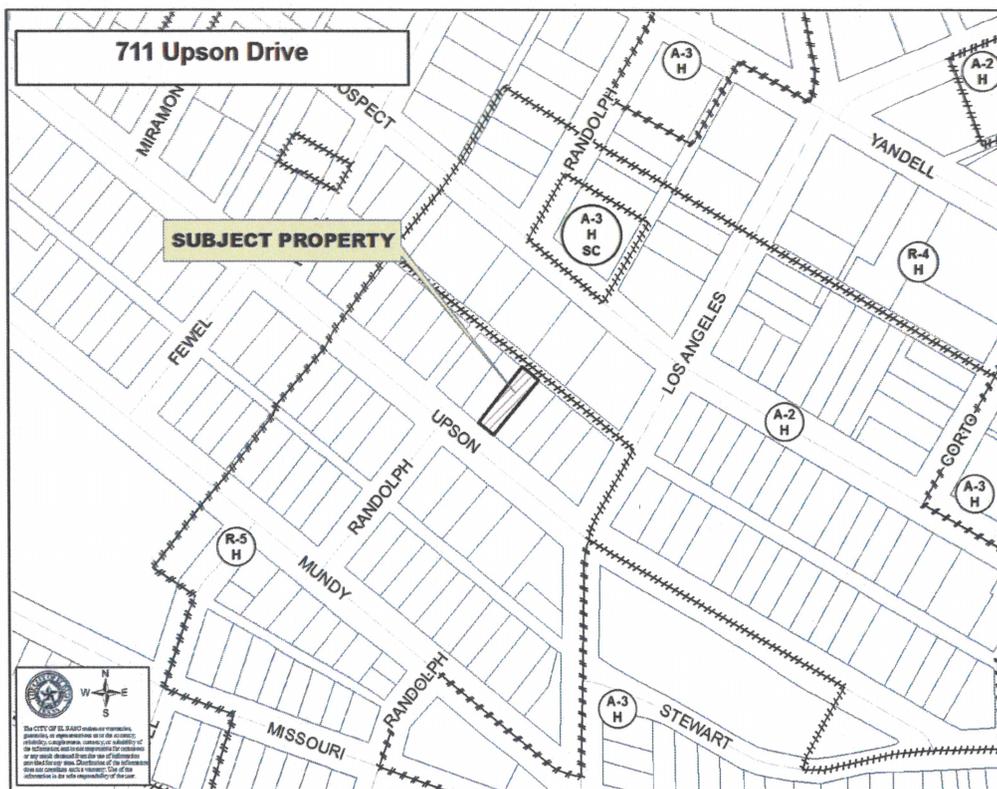
FOR
 MR. & MS. KERR
 11 UPSON DRIVE

EL PASO, TEXAS 79901



DATE:	01-25-2015
DRAWN BY:	
CHECKED BY:	
TITLE:	FLOOR PLAN
REV. DATE:	
REV. DATE:	

ZONING MAP



NOTIFICATION MAP

