

PZBA15-00006

817 Kern Drive

Mia Goldman, Franz Theard, Sofia Theard

Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-3 (Residential) zone.

This would permit the construction of a 661 sq. ft. addition, of which 201 sq. ft. would encroach to within 15'6" of the rear property line.

The required rear setback is 20 feet and the required front and rear yard setback cumulative total is 50 feet in the R-3 zone district.

BACKGROUND

The existing residence was constructed in 1929. The Kern Place subdivision was platted in 1914.

CALCULATIONS

Permitted area of encroachment in required rear yard setback = 220.08 sq. ft. (18.34' [55.1' average lot width ÷ 3] x 12' [3/5 of 20' required rear yard setback])

Requested area of encroachment in rear yard setback = 201 sq. ft. (7'7" x 25'6")

Required rear yard setback = 20'

Requested rear yard setback = 15'6"

Required front and rear yard setback total = 50'

Requested front and rear yard setback total = 45'6"

STAFF RECOMMENDATION

Staff recommends approval with a condition as the requested square footage encroachment (201 sq. ft.) is less than the maximum permitted (220 sq. ft.).

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

"Permit an extension of a single-family residential structure into the required rear yard setback, which shall be measured to the rear property line; provided, however, that:

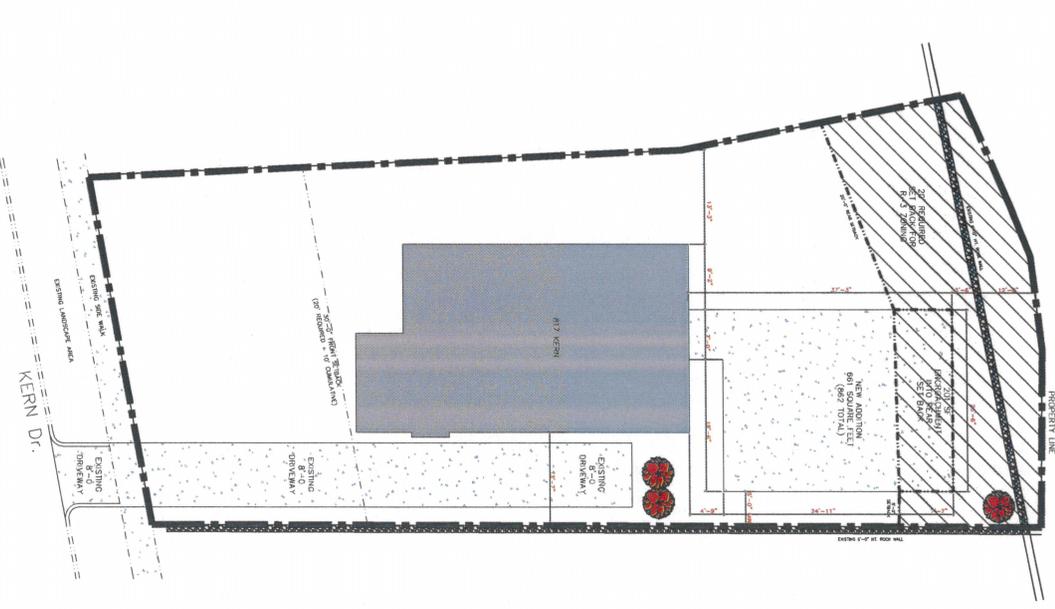
1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard setback;
3. A minimum ten-foot rear yard setback shall be required;
4. The minimum side and side street yard setbacks shall not be reduced; and
5. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space."

2-SP1.1 SITE + FOUNDATION PLAN

LOCAL JURISDICTION:
 0-1 WEST PLATE 23 & 22 (SEC 9 PT)
 BALDWIN JURISDICTION
 PROPOSED ADDITION

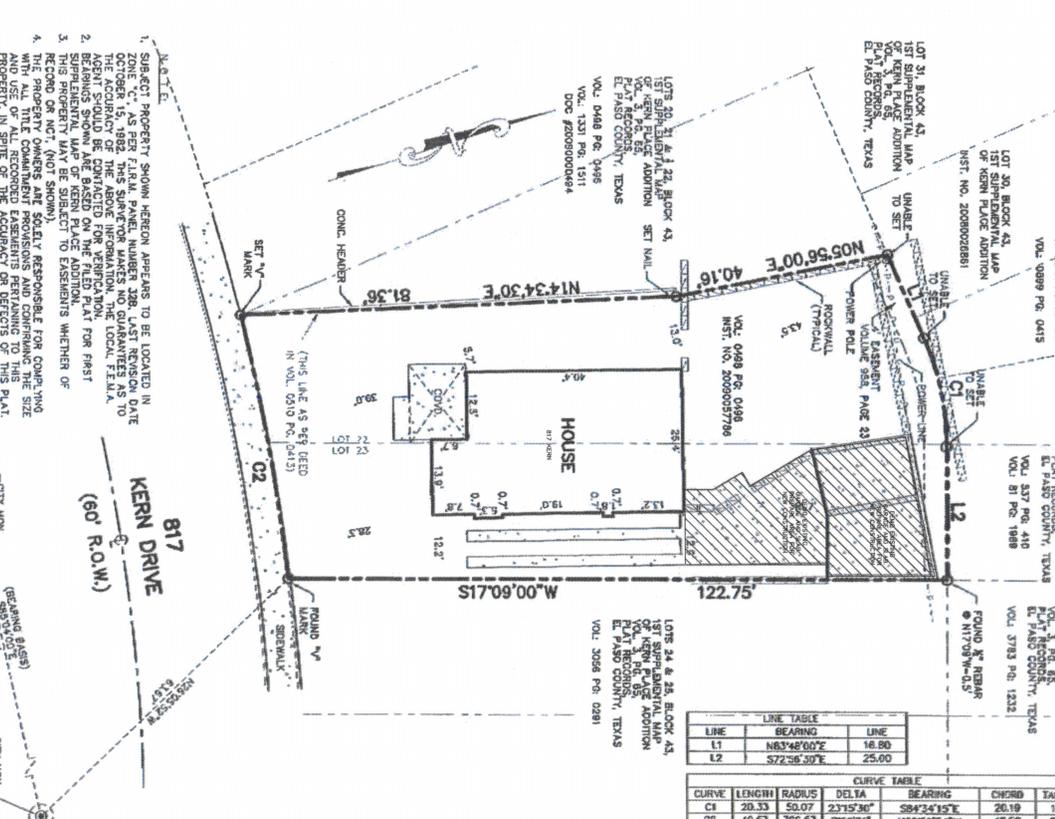
SCALE: 1/8" = 1'-0"

GENERAL NOTES:
 1. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
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1-SP1.1 REFERENCE SURVEY

SCALE: 1/8" = 1'-0"



SILVA RESIDENCE
 817 KERN - EL PASO, TX 79802

PROJECT NUMBER: _____ DATE: _____

REVISIONS:

SITE + FOUNDATION PLAN

SHEET NUMBER: **SP1.1**

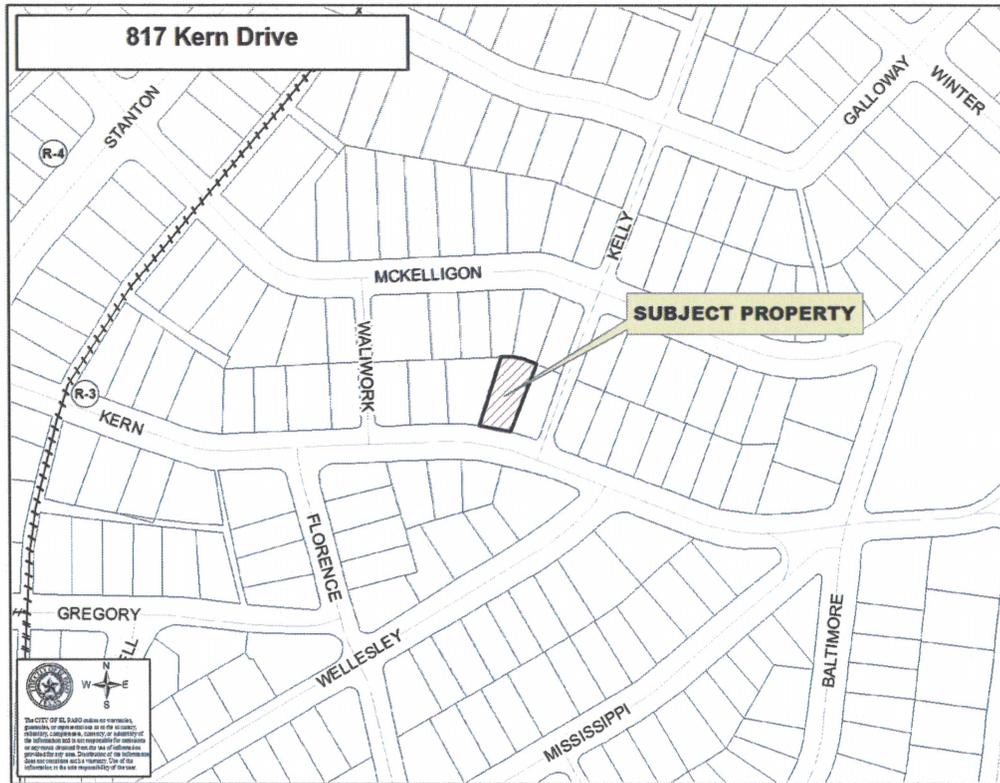
SITE GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL ESTABLISH AND MAINTAIN CONTROL POINTS THROUGHOUT THE PROJECT.
- ALL SUB-CONTRACTORS SHALL REVIEW AND APPROVE ALL DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE WORK. REVISIONS OF WORK SHALL BE IN WRITING AND APPROVED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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 EL PASO, TX 79901
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WWW.ROOTOF.COM

ZONING MAP



NOTIFICATION MAP

