

Applicant requests a Special Exception under Section 2.16.050 B (Two or More Nonconforming) in a C-2 (Commercial) zone.

This would allow a new shopping center development which is proposed to be located to within 5 feet of the rear property line and 0 feet of the side street property line (along Justus Street).

The required rear yard setback is 20 feet and the required side street yard setback is 10 feet in the C-2 zone district.

**BACKGROUND**

The applicant is proposing to demolish the structure on the property and build a new 5,440 square feet building with a laundromat and office tenant spaces. The property is in an old subdivision of at least 50+ years, Grandview, and there are properties within the same block and across Fort Boulevard and Justus Street built to the property lines and existing in the 1956 aerial. The properties at 3225 Fort and the subject property at 3301 Fort Boulevard were built to the side street property line. Several properties at 3313, 3316 and 3326 Fort Boulevard are built to 5 feet or closer of the rear property line.

**CALCULATIONS**

- Required rear yard setback = 20'
- Required side street yard setback = 10'
- Requested rear yard setback = 5'
- Requested side street yard setback = 0'

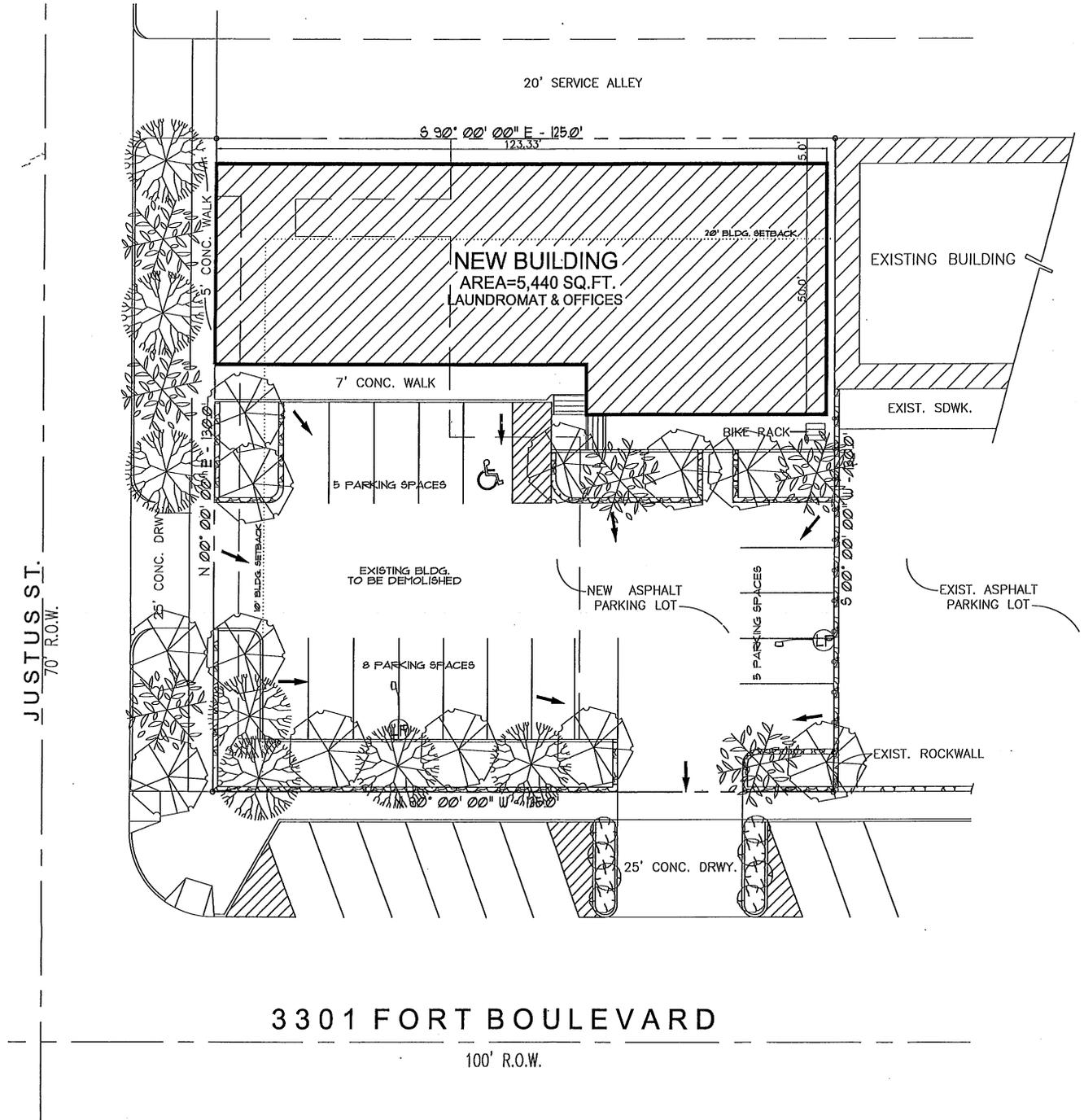
**STAFF RECOMMENDATION**

Staff recommends approval of the request as it meets the requirements of the Special Exception B.

The Zoning Board of Adjustment is empowered under Section 2.16.050 B to:

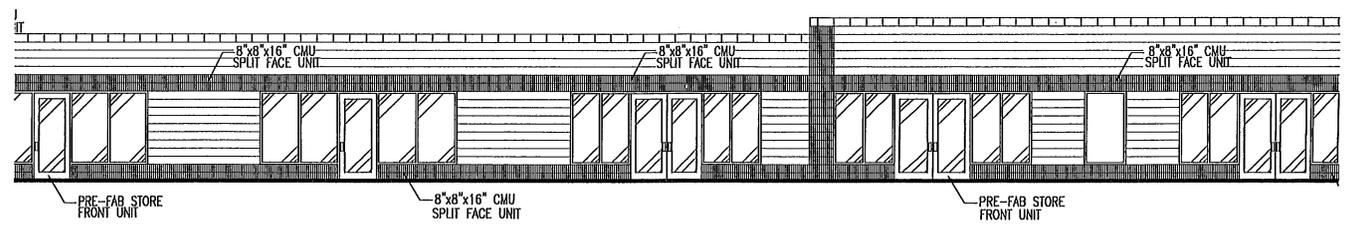
“Permit the modification of setback requirements as the board deems necessary to secure an appropriate development of a lot; provided, however, that:

1. The lot is in a legally recorded and developed subdivision of at least ten years;
2. There are two or more lots that do not conform to Title 20 located within the same block on the same side of the street or within the block directly across and abutting the street;
3. The modifications are in the same nature as the existing nonconforming lots and do not permit construction less conforming than the least conforming of the nonconforming lots; and
4. If the subject lot is located at the intersection of two streets (a corner lot), then nonconforming lots within the same block on the same side of either intersecting street or directly across and abutting either intersecting street, but not lots located diagonally from the subject lot, may be used in determining the nonconforming lot restrictions of this special exception.”

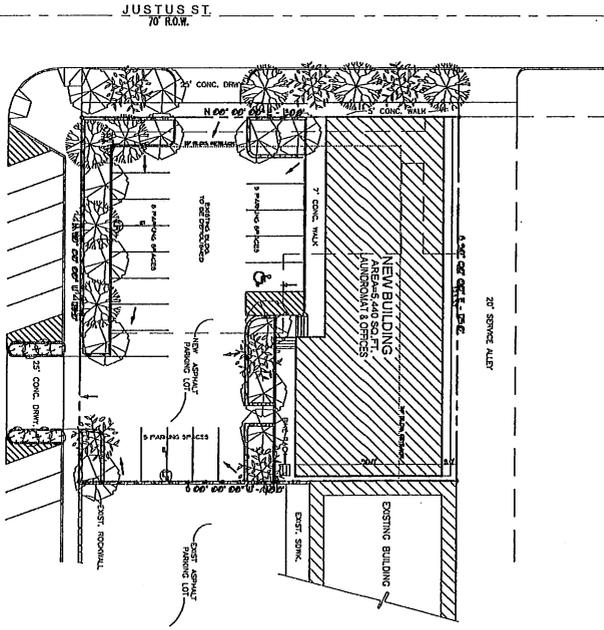


**SITE PLAN:**

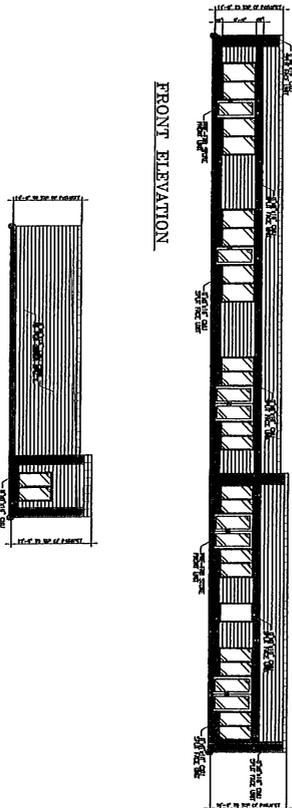
SCALE: 1" = 20'-0"



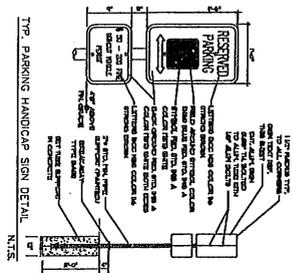
**FRONT ELEVATION**



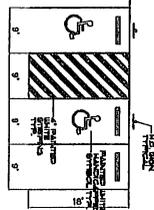
SITE PLAN  
SCALE: 1/8\"/>



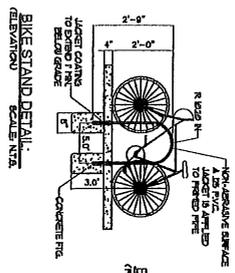
FRONT ELEVATION  
SIDE ELEVATION



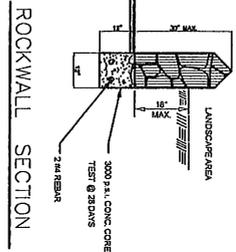
TRIP PARKING HANDICAP SIGN DETAIL  
N.T.S.



HANDICAP PARKING LAYOUT  
N.T.S.



BIKE STAND DETAIL  
SCALE: N.T.S.



ROCKWALL SECTION

- NOTES:
1. STONE FOR ROCKWALL SHALL BE AS NEARLY UNIFORM IN SECTIONS AS POSSIBLE.
  2. THE STONE SHALL BE DENSE AND RESISTANT TO AIR AND WATER.
  3. MORTAR SHALL BE TYPE "S" 1800 PSI, AS PER ASTM C270.
  4. ROCKWALL HEIGHT SHALL NOT EXCEED TWO (2) INCHES.
  5. PROVIDE ONE (1) IRON EXPANSION JOINT AT EVERY 100 FEET.
  6. ALL STONE SHALL BE THOROUGHLY SOAKED BEFORE BEING PLACED.
  7. NO RIVER ROCK SHALL BE ALLOWED FOR ROCKWALLS.

**PERMITS AND REGULATIONS:**  
 D-M-C (0-379)(2)(7)(0)(4-25)  
 C-2-02 08

**DEVELOPER:**  
 CITY OF EL PASO, TEXAS  
 CITY ENGINEER: [Name]

**DESIGNER:**  
 BASHAR ABUGALYON, P.E.  
 FIRM: F12-717

**PROJECT:**  
 3301 FORT BOULEVARD  
 EL PASO, TEXAS

**DATE:**  
 OCTOBER 15, 1982

**REVISIONS:**  
 1. REVISED PER CITY ENGINEER COMMENTS  
 2. REVISED PER CITY ENGINEER COMMENTS

**LEGEND:**  
 1. 1,000-G.P.S.  
 2. 1,000-G.P.S.  
 3. 1,000-G.P.S.  
 4. 1,000-G.P.S.  
 5. 1,000-G.P.S.

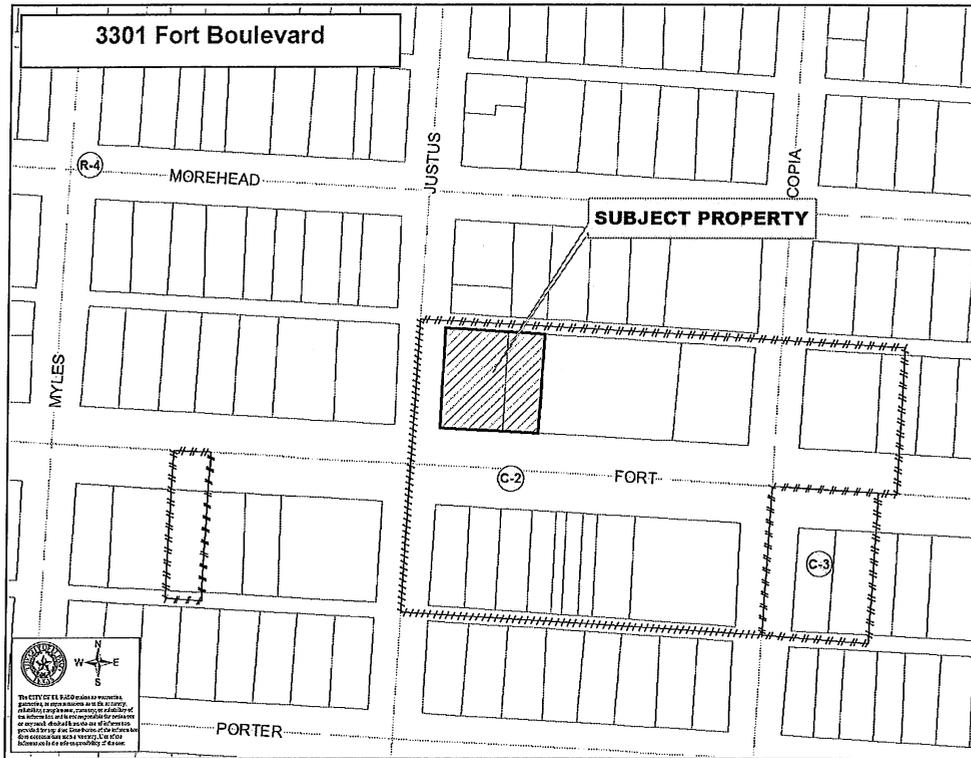
Scale: \_\_\_\_\_  
 Project No: \_\_\_\_\_  
 Sheet No: **C01**  
 1 of 1

**TEXAS SELF-SERVICE LAUNDRY**  
 3301 FORT BOULEVARD  
 EL PASO, TEXAS  
 OWNER: PARTIDA PROPERTIES

Bashar Abugalyon, P.E.  
 Firm# F12-717

**designs by LOMA**  
 Commercial & Residential  
 LORENZO RODRIGUEZ UNICO RODRIGUEZ  
 (915) 492-7150 (915) 497-3032

# ZONING MAP



# NOTIFICATION MAP

