

**Applicant requests a Special Exception under Section 2.16.050 V (Front Yard Setback) in an A-O/sc/sp zone.**

This would permit the construction of an addition of which a 14.4' by 4' portion is proposed to encroach 4' into the required front yard setback.

The required cumulative front and rear yard setback total is 45' for a single-family residence in an A-0 (Apartment/Office/Special Contract/Special Permit/Medium Density Residential District) zone.

**BACKGROUND**

The applicant is enclosing her garage and is also adding to her living room area. She is requesting to encroach into the required front yard setback with a portion of the new living room.

**CALCULATIONS**

1/3 average lot width = 14.4' (43.20' ÷ 3)

Requested width of encroachment = 14.4'

Required front yard setback = 20'

Requested front yard setback = 16'

**STAFF RECOMMENDATION**

Staff recommends approval of the request as it meets the requirements of the Special Exception V.

The Zoning Board of Adjustment is empowered under Section 2.16.050 V to:

"Permit an extension of a single-family residential structure into the required front yard, which shall be measured to the property line, provided, however, that:

1. The total length all extensions granted shall not project into the required front yard a depth in excess of ten feet (10'), and
2. The total width of all extensions granted shall not exceed one-third of the average width of the site, and
3. The minimum side and side street yards shall not be reduced, and
4. A minimum of a ten foot (10') front setback from the property line shall be maintained, and
5. If the proposed modification is for an enclosed garage, a minimum twenty foot (20') driveway shall be required; and
6. Unless otherwise provided in this ordinance, all remaining areas of the required front yard shall be permanent open space; and
7. The extension shall not permit the creation of an additional dwelling unit or an over-intensive use or coverage of the site.
8. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought; and
9. The public convenience and welfare will be substantially served; and
10. The use of neighboring property will not be substantially injured; and
11. Include any conditions and safeguards which the board deems appropriate, such as site arrangement, landscaping and hours of operation."

N26°43'27"W 39.42'

EXIST. ROCKWALL

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EXIST. ROCKWALL

S63°22'49"W 104.84'

N59°46'15"E 109.16'

5' INTERIOR SETBACK

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ELECTRICITY METER

EXIST. GARAGE TO BE CONVERTED INTO DEN

ADDITION

OPEN PORCH

EXIST. CONCRETE DRIVEWAY AND SIDEWALK

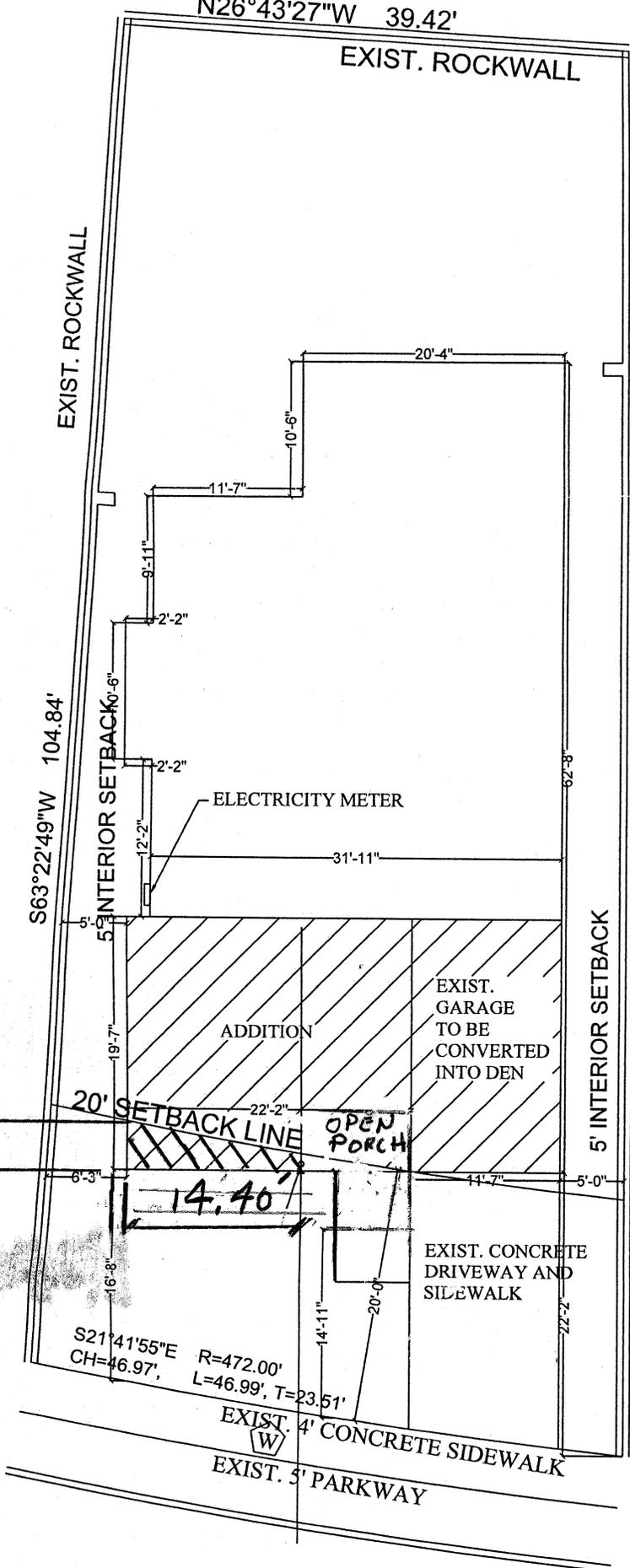
EXIST. 4' CONCRETE SIDEWALK

EXIST. 5' PARKWAY

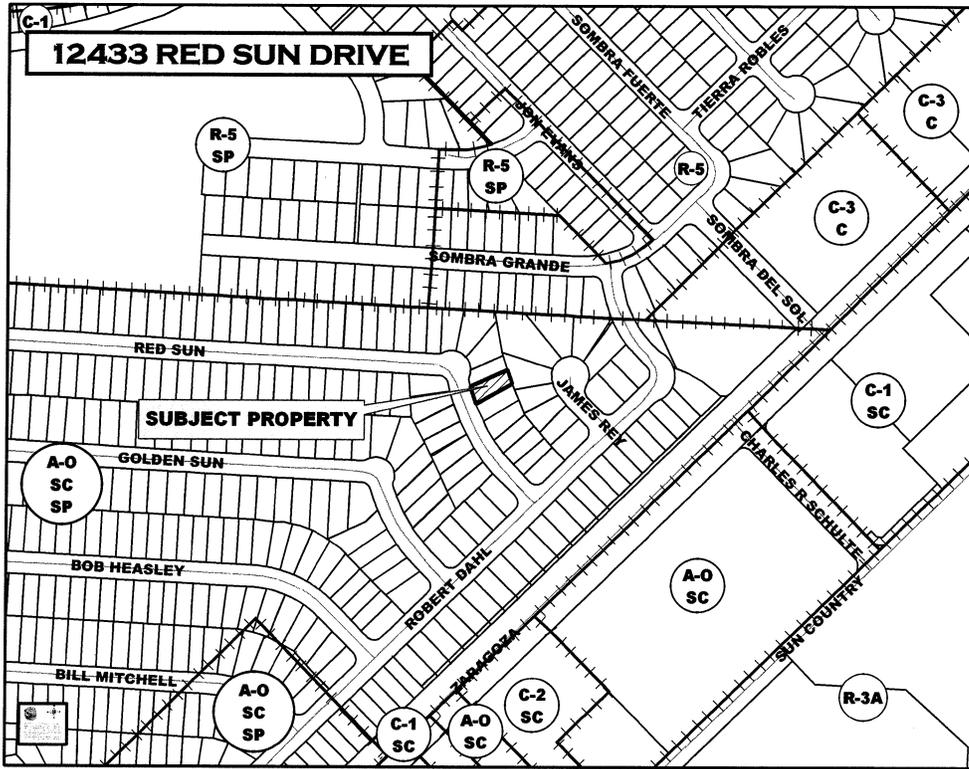
S21°41'55"E R=472.00'  
CH=46.97', L=46.99', T=23.51'

6' x 14.45' ENCROACHMENT

PLOT PLAN  
SCALE 1" = 20'



# ZONING MAP



# NOTIFICATION MAP

