

**Applicant requests a Special Exception under Section 2.16.050 Q (Carport over a Driveway) in an A-O/sc zone.**

This would permit the construction of a 19' by 19' carport that is proposed to encroach 19' into the required front yard setback.

The required cumulative front and rear yard setback total is 45' for a single-family residence in an A-O (Apartment-Office/Special Contract/Medium Density Residential District) zone.

**BACKGROUND**

The applicant is proposing to add a carport that will encroach 19' in the front yard setback, to be located to within 1' of the front property line. The Building Permits & Inspections Division has reviewed the structural plans for the carport and failed them. The applicant is trying to get the plans corrected prior to the ZBA meeting.

**CALCULATIONS**

Permitted carport area = 510 sq. ft. (First floor area under roof = 1,801 ÷ 5 = 360 sq. ft. + 150 sq. ft. permitted porch)

Requested carport area = 361 sq. ft. (19' x 19')

Required front yard setback = 20'

Requested front yard setback = 1'

**STAFF RECOMMENDATION**

Staff recommends denial of the request for the carport, pending submittal of corrected structural drawings.

The Zoning Board of Adjustment is empowered under Section 2.16.050 Q to:

"Permit the encroachment into the required front yard setback beyond other allowed modifications for a canopy covering a driveway (as that term is defined in Section 19.04.040(c) of this code) on the lot; provided, however, that:

1. The canopy is located in a residential (R) district or at a single-family residence;
2. The canopy shall be structurally sound, connected to and in harmony with the dwelling, and shall be constructed in accordance with drawings and specifications bearing the seal of a registered professional engineer or architect;
3. The owners of property within three hundred feet of the subject property shall be provided written notice of the proposed canopy and ten days' prior written notice of the hearing of the board at which the application for special exception for the canopy shall be considered;
4. The area of the canopy shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the canopy rise above the highest point of the roof of the dwelling;
5. The design and location of the canopy has received the written approval, based upon traffic safety and structural design considerations, of the City Engineer and Building Official for building services;
6. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space;
7. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code;
8. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling;
9. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought;
10. The public convenience and welfare will be substantially served;
11. The use of neighboring property will not be substantially injured; and
12. Include any conditions and safeguards which the Board deems appropriate, such as site arrangement, landscaping and hours of operation."

JOHN COOK  
MAYOR

JOYCE WILSON  
CITY MANAGER

R. ALAN SHUBERT, PE, CBO  
DEVELOPMENT SERVICES DIRECTOR



CITY COUNCIL  
ANN MORGAN LILLY, DISTRICT 1  
SUSANNAH M. BYRD, DISTRICT 2  
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MELINA CASTRO, DISTRICT 4  
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STEVE ORTEGA, DISTRICT 7  
BETO O'Rourke, DISTRICT 8

APRIL 3, 2008

**DEVELOPMENT SERVICES DEPARTMENT**

MEMORANDUM

TO: Zoning Board of Appeals Staff  
FROM: Javier De La Cruz, Building Plans Examiner, Building Permits and Inspections Section  
SUBJECT: CARPORT CASE FOR April 24, 2008 ZBA MEETING  
DATE: April 3, 2008

I have reviewed the plans for ZBA case 08-00026 located at 11963 Diego Rivera. The applicant is requesting a Special Q Exception under Title 2.16.050 for a carport over the driveway.

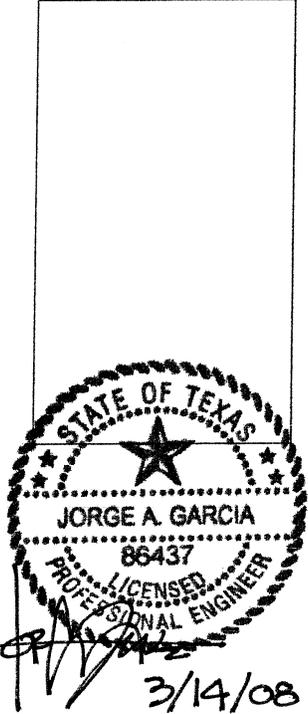
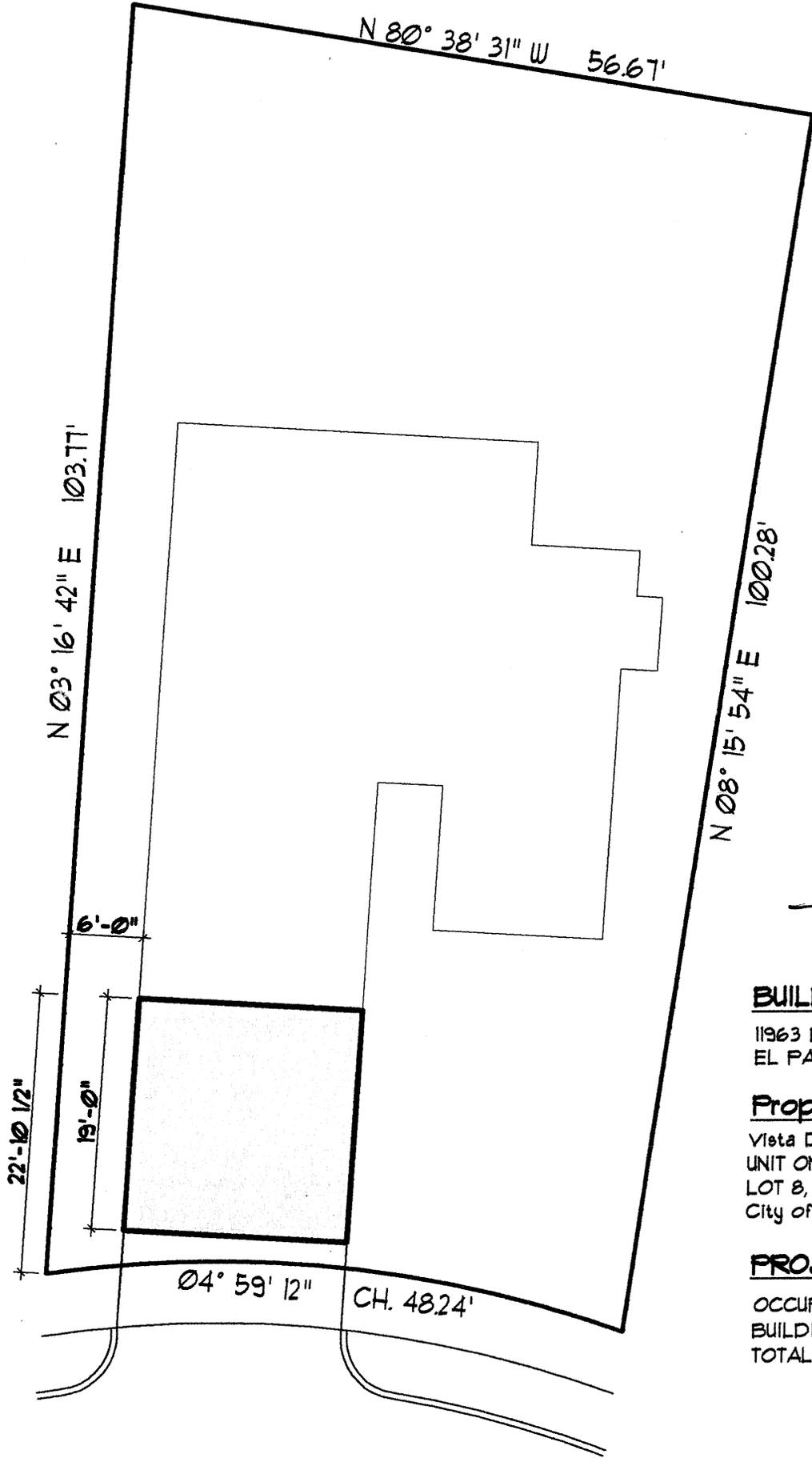
The carport's structural design has been reviewed and has been found to be not acceptable due to the following;

1. Over spanned ridge beam.
2. Specify highlighted beams
3. Beams above 4"x4" post need to be doubled
4. Rafters @ roof framing and wall section don't coincide
5. All sheets submitted must be sealed by Engineer

This letter is written pursuant to Title 2.16.050.5 and provides written approval for the carport design based upon structural design considerations from the Building Permits and Inspections section of Development Services.

Poetic Design for  
 Poetics of Space

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**BUILDING ADDRESS**

11963 DIEGO RIVERA  
 EL PASO, TEXAS 79936

**Property Description**

Vista Del Sol UNIT  
 UNIT ONE HUNDRED NINETEEN  
 LOT 8, BLOCK 512  
 City of El Paso, El Paso County, Texas

**PROJECT INFORMATION**

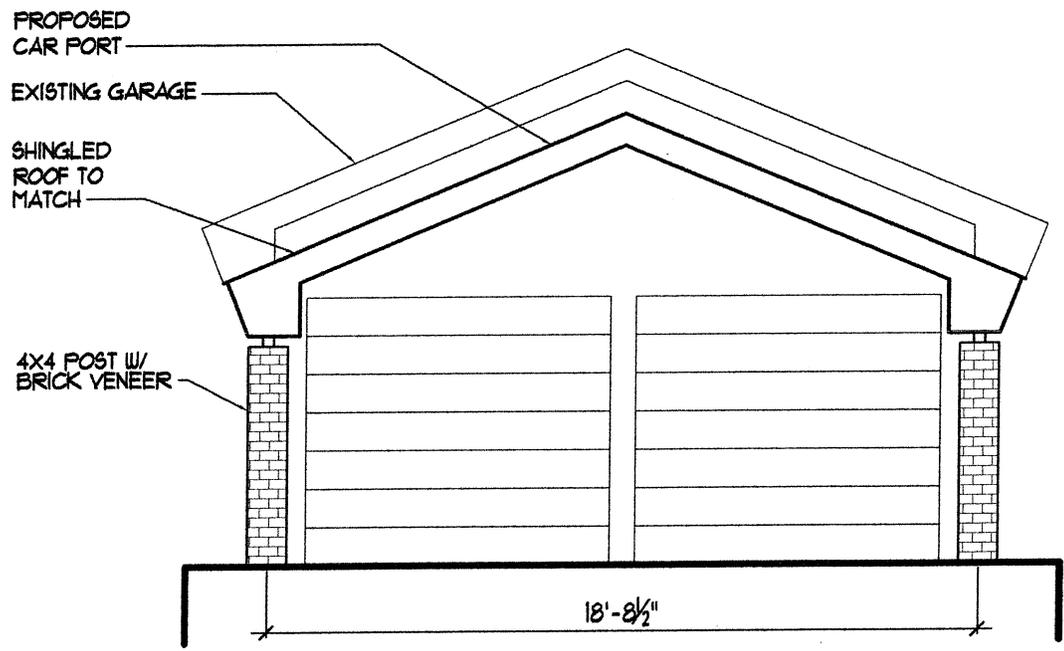
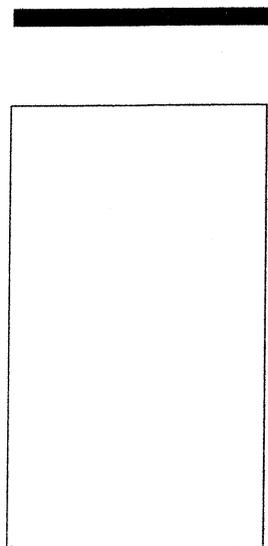
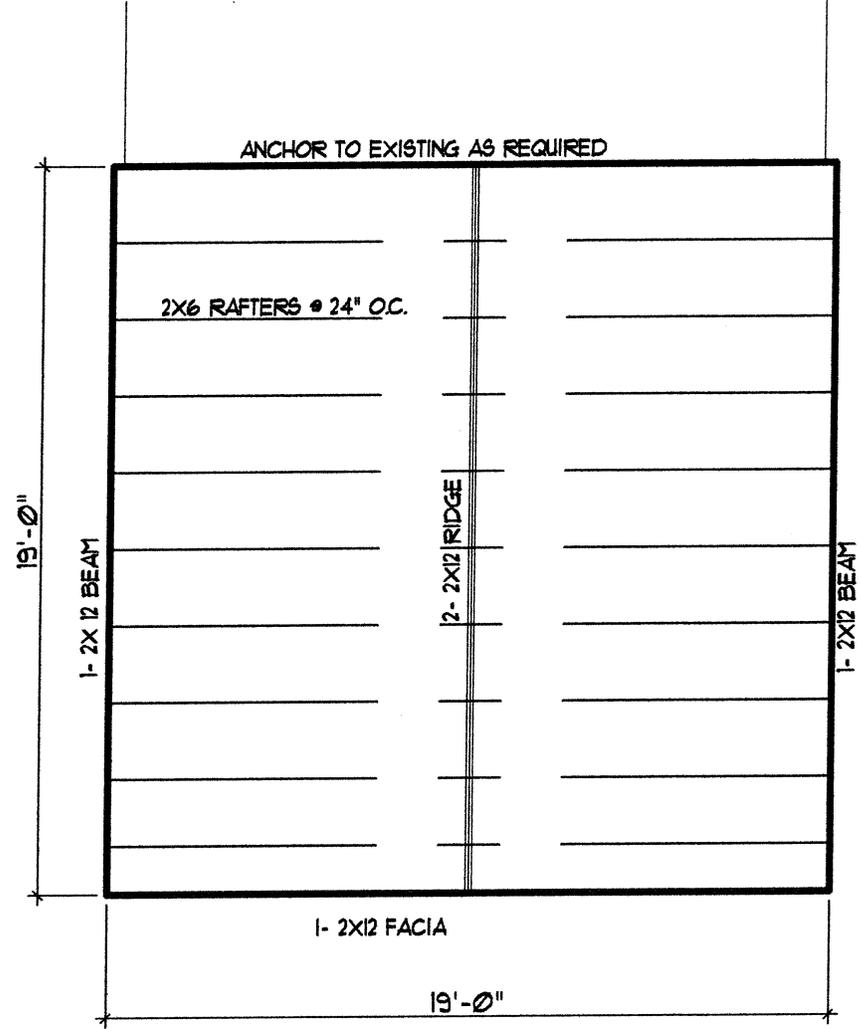
OCCUPANCY: R-3  
 BUILDING TYPE: TYPE V  
 TOTAL SQUARE FEET = 361



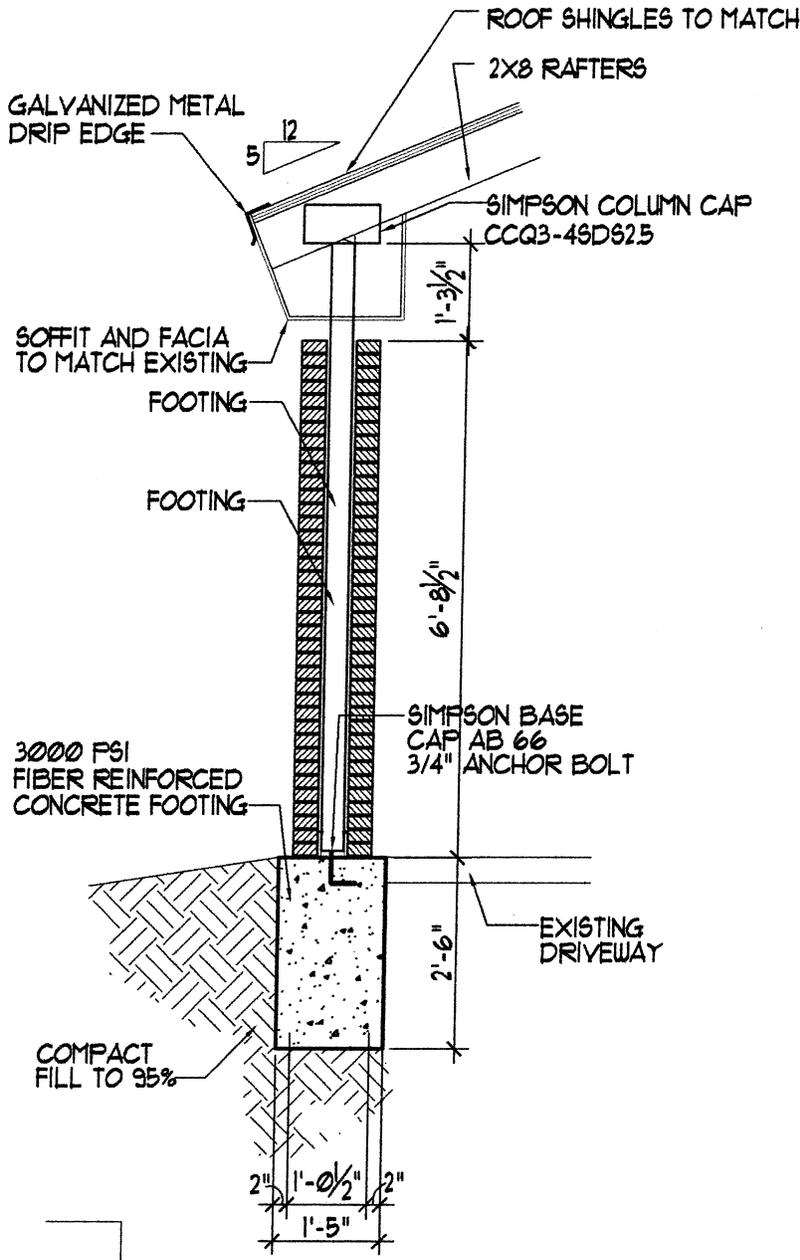
**SITE PLAN AND PROPOSED CARPORT FLOOR PLAN**

SCALE: 1" = 10'-0"

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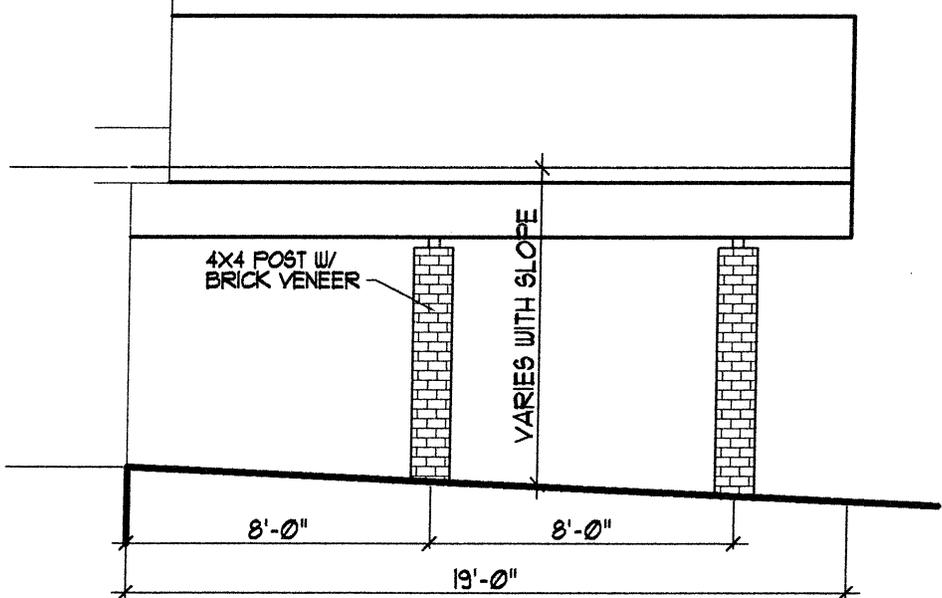
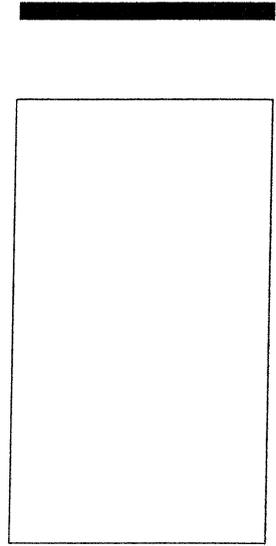


**ROOF FRAMING PLAN AND ELEVATION**  
 SCALE: 1/4" = 1'-0"



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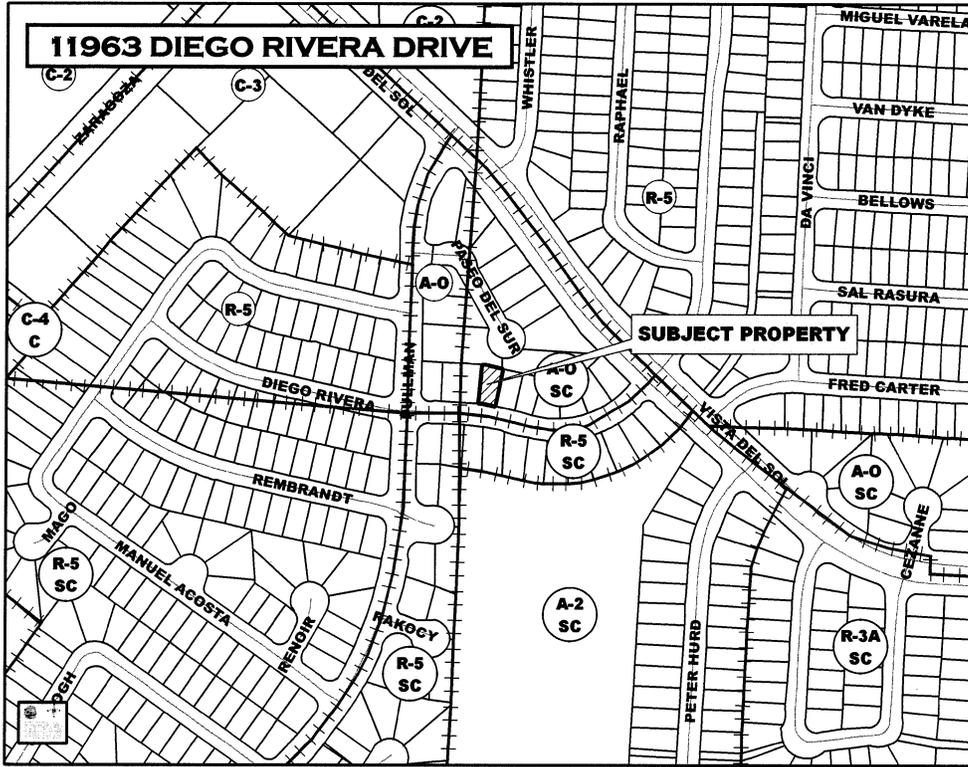
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**SECTION AND SIDE ELEVATION**

SCALE FOR SECTION: 3/4" = 1'-0"  
 SCALE FOR ELEVATION: 1/4" = 1'-0"

# ZONING MAP



# NOTIFICATION MAP

