

Applicant requests a Special Exception under Section 2.16.050 V (Front Yard Setback) in an R-1/sp (Light Density Residential/special permit) zone.

This would permit the construction of a new residence of which a 38' by 10' portion is proposed to encroach 10' into the required front yard setback.

The required cumulative front and rear yard setback total is 100' in an R-1/sp zone.

BACKGROUND

The applicant is proposing to construct a new residence that is proposed to encroach into the required front yard setback.

CALCULATIONS

1/3 average lot width = 43' (129 ÷ 3)

Required front yard setback = 50'

Requested front yard setback = 40'

STAFF RECOMMENDATION

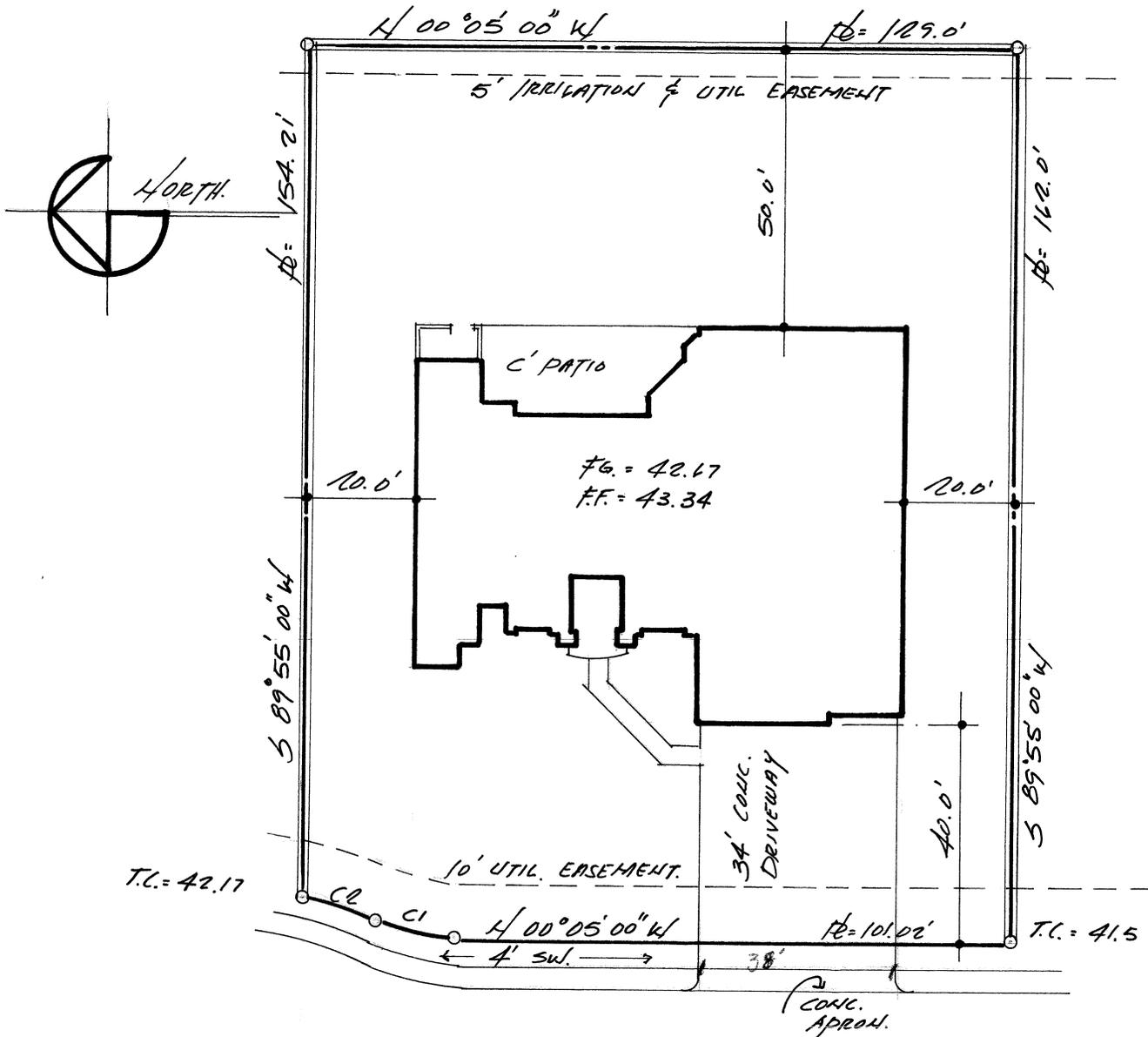
Staff recommends denial of this request because new houses should be designed and built within the required setbacks.

The Zoning Board of Adjustment is empowered under Section 2.16.050 V to:

"Permit an extension of a single-family residential structure into the required front yard, which shall be measured to the property line, provided, however, that:

1. The total length all extensions granted shall not project into the required front yard a depth in excess of ten feet (10'), and
2. The total width of all extensions granted shall not exceed one-third of the average width of the site, and
3. The minimum side and side street yards shall not be reduced, and
4. A minimum of a ten foot (10') front setback from the property line shall be maintained, and
5. If the proposed modification is for an enclosed garage, a minimum twenty foot (20') driveway shall be required; and
6. Unless otherwise provided in this ordinance, all remaining areas of the required front yard shall be permanent open space; and
7. The extension shall not permit the creation of an additional dwelling unit or an over-intensive use or coverage of the site.
8. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought; and
9. The public convenience and welfare will be substantially served; and
10. The use of neighboring property will not be substantially injured; and
11. Include any conditions and safeguards which the board deems appropriate, such as site arrangement, landscaping and hours of operation."

	TANG	LENGTH	RADIUS	DELTA	CHORD
C1	6.58	12.95	30.0	24°44'13"	12.85
C2	8.17	14.27	70.0	13°18'55"	14.23

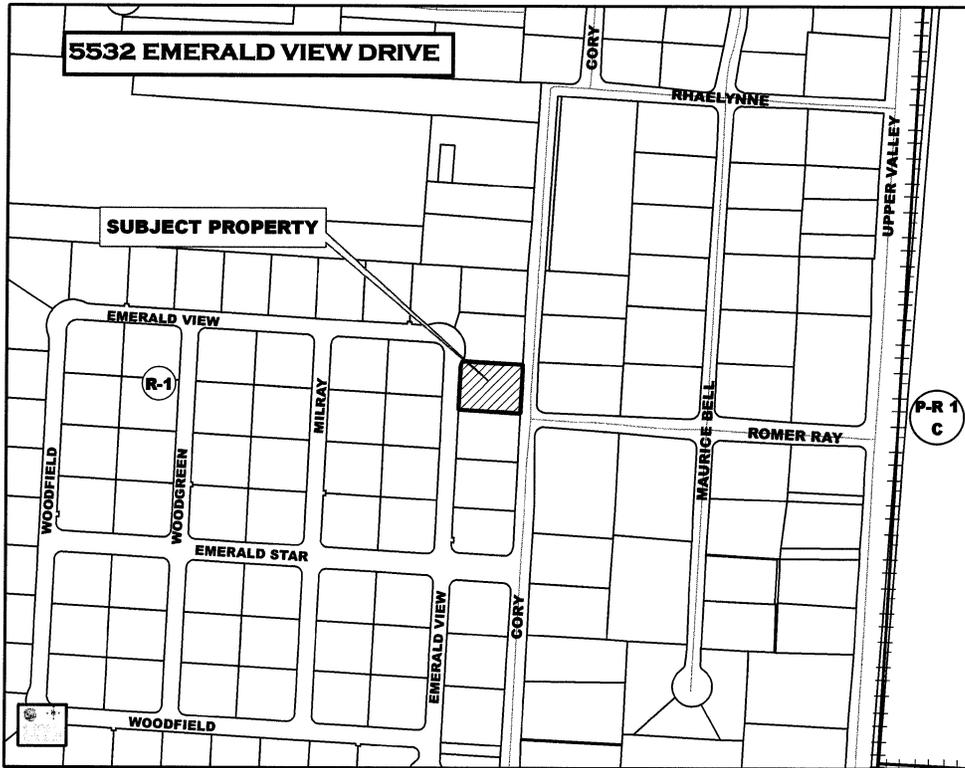


5532 EMERALD VIEW DR.
 LOT 32 BLOCK I
 EMERALD VALLEY ESTATES

Site Plan

SC. 1" = 30'

ZONING MAP



NOTIFICATION MAP

