

Applicants requests a Special Exception under Section 2.16.050 Q (Carport over a Driveway) in an R-3 (Light Density Residential) zone.

This would permit the construction of a 20' by 40' carport that is proposed to encroach 20' into the required front yard setback.

The required cumulative front and rear yard setback total is 50' for a single-family residence in an R-3 zone.

BACKGROUND

The applicants are requesting to build a carport located to within 0' of the front property line. The Engineering-Traffic Division has reviewed the site and has no apparent traffic concerns with the proposed carport, but notes that carports shall encroach onto City property. The Building Permits & Inspections Division has reviewed the structural plans for the carport and notes no objections to the proposed structure.

CALCULATIONS

Permitted carport area = 960 sq. ft. (First floor area under roof = 4,802 ÷ 5 = 960 sq. ft.)

Requested carport area = 800 sq. ft. (20' x 40')

Required front yard setback = 25'

Requested front yard setback = 0'

STAFF RECOMMENDATION

Staff recommends approval of the request for the carport as it meets the requirements for the Special Exception Q.

The Zoning Board of Adjustment is empowered under Section 2.16.050 Q to:

"Permit the encroachment into the required front yard setback beyond other allowed modifications for a canopy covering a driveway (as that term is defined in Section 19.04.040(c) of this code) on the lot; provided, however, that:

1. The canopy is located in a residential (R) district or at a single-family residence;
2. The canopy shall be structurally sound, connected to and in harmony with the dwelling, and shall be constructed in accordance with drawings and specifications bearing the seal of a registered professional engineer or architect;
3. The owners of property within three hundred feet of the subject property shall be provided written notice of the proposed canopy and ten days' prior written notice of the hearing of the board at which the application for special exception for the canopy shall be considered;
4. The area of the canopy shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the canopy rise above the highest point of the roof of the dwelling;
5. The design and location of the canopy has received the written approval, based upon traffic safety and structural design considerations, of the City Engineer and Building Official for building services;
6. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space;
7. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code;
8. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling;
9. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought;
10. The public convenience and welfare will be substantially served;
11. The use of neighboring property will not be substantially injured; and
12. Include any conditions and safeguards which the Board deems appropriate, such as site arrangement, landscaping and hours of operation."

Castle, Linda

From: Castle, Linda
Sent: Tuesday, April 29, 2008 11:06 AM
To: 'edesposito@utep.edu'
Subject: FW: variance at 3975 Las Vegas

Ms. Esposito,

Your objection to the carport at 3975 Las Vegas will be conveyed to the Zoning Board of Adjustment and noted in the meeting record.

Linda Castle
Senior Planner
541-4029

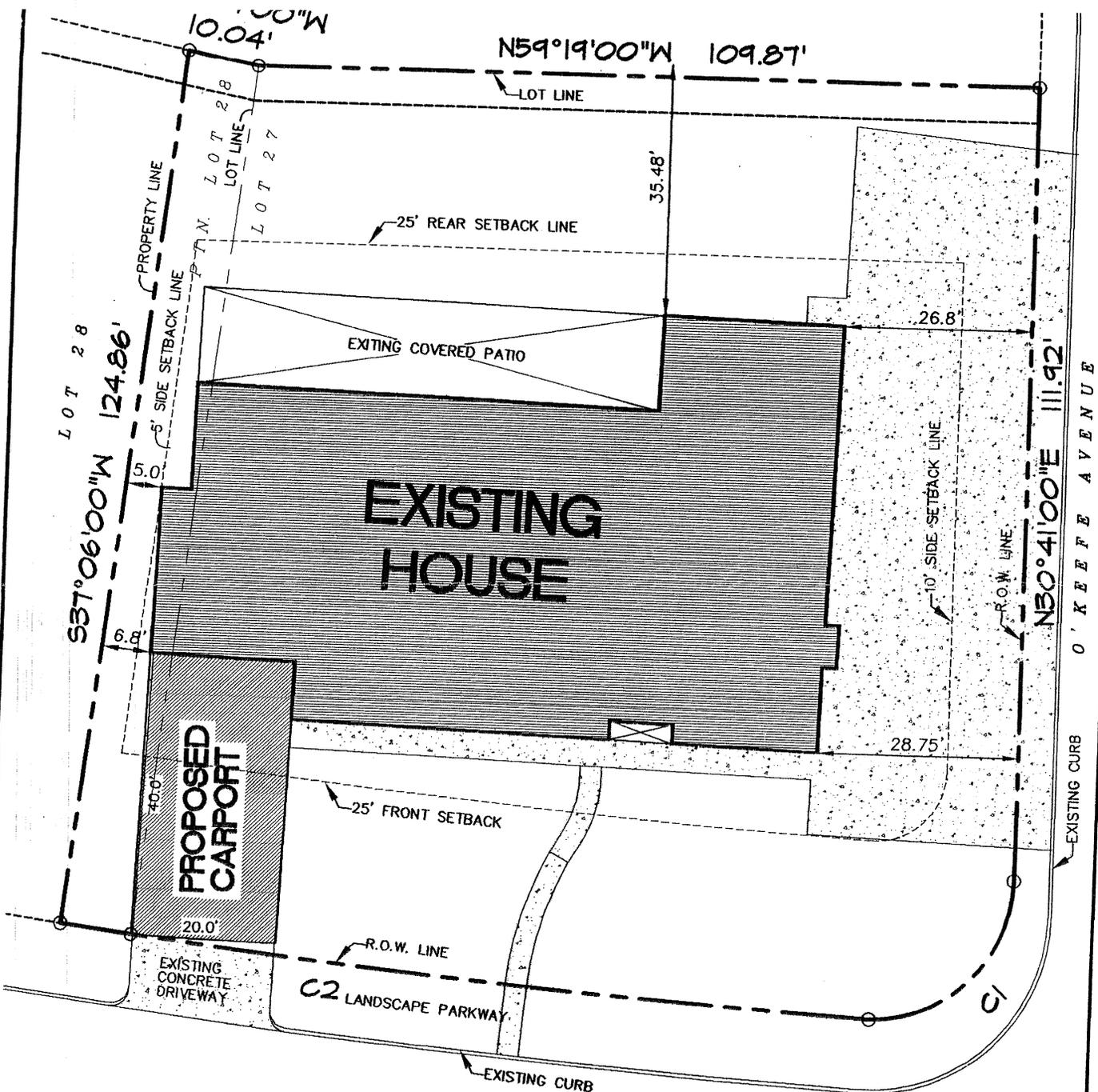
From: Pena, Roberto R.
Sent: Tuesday, April 29, 2008 11:02 AM
To: Castle, Linda
Subject: FW: variance at 3975 Las Vegas

-----Original Message-----

From: Esposito, Ellen L [mailto:edesposito@utep.edu]
Sent: Tuesday, April 29, 2008 10:15 AM
To: Pena, Roberto R.
Subject: variance at 3975 Las Vegas

I live at 4002 Flamingo Dr. and am writing about Case # ZBA08-00031 at 3975 Las Vegas Dr. I do NOT think the property owners should be issued this exception for a carport. The integrity and property values of the neighbor's homes will be negatively impacted by the construction of this carport within the front yard setback.

Ellen Esposito
Program Coordinator, College of Science
MaST Academy/STEP UP
The University of Texas at El Paso
Bell Hall 113
(915) 747-7497
fax: 747-6807



**3975
LAS VEGAS**

(60' PUBLIC R.O.W.)

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	20.00	31.50	19.88	28.20	S75°30'46"W	81°34'33"
C2	1376.45	114.24	57.15	114.21	N54°22'09"W	4°45'19"

ENCROACHMENT NOTE:

PROPOSED CARPORT ENCLOSES
496 S.F. ON TO THE FRONT 25'
FRONT SETBACK LINE

NOTE:

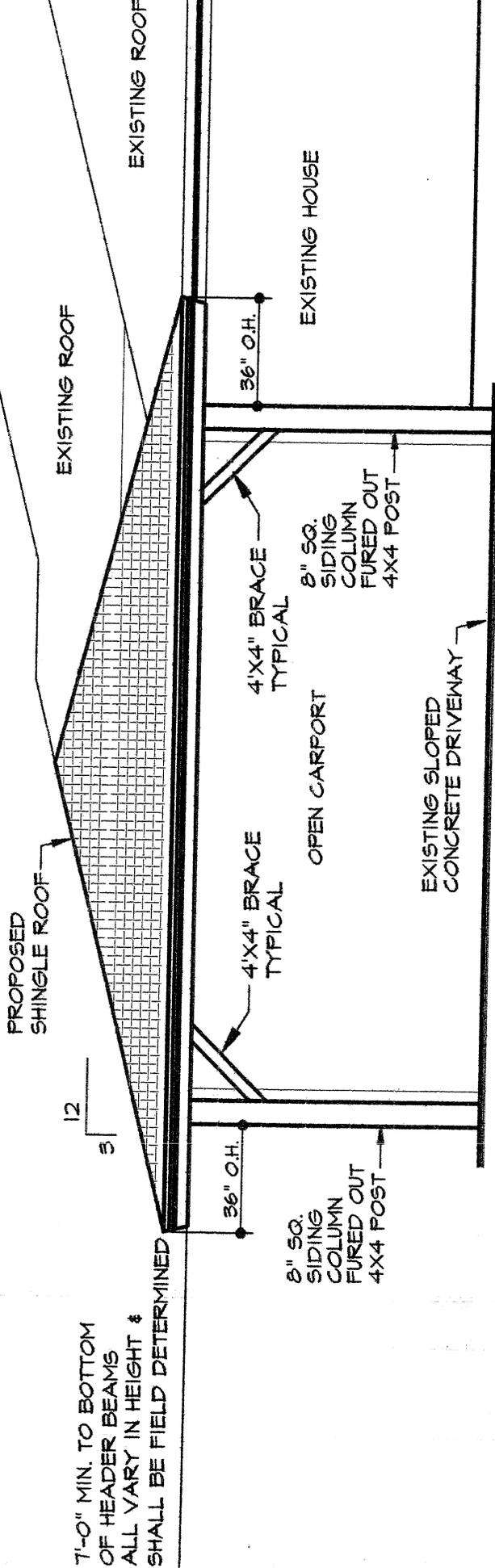
THIS IS NOT A SURVEY
INFORMATION SHOWN
WAS BASED FROM THE PROVIDED
SITE PLAN AND DATA.

SITE PLAN



SCALE 1"=20'

BEING LOT 27, AND THE WEST 10' FEET OF LOT 28,
BLOCK 4, MISSION HILLS ADDITION.
CITY OF EL PASO, EL PASO COUNTY, TEXAS



7'-0" MIN. TO BOTTOM OF HEADER BEAMS ALL VARY IN HEIGHT & SHALL BE FIELD DETERMINED

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

**JOHN COOK
MAYOR**

**JOYCE WILSON
CITY MANAGER**

**PATRICIA ADAUTO
DEPUTY CITY MANAGER**



CITY COUNCIL
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SUSANNAH M. BYRD, DISTRICT 2
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EDDIE HOLGUIN JR., DISTRICT 6
RACHEL QUINTANA, DISTRICT 7
BETO O'ROURKE, DISTRICT 8

**APRIL 28, 2008
DEVELOPMENT SERVICES DEPARTMENT**

MEMORANDUM

TO: Zoning Board of Appeals Staff
FROM: Javier De La Cruz, Building Plans Examiner, Building Permits and Inspections Section
SUBJECT: CARPORT CASE FOR May 5, 2008 ZBA MEETING
DATE: April 28, 2008

I have reviewed the plans for ZBA case 08-00031 located at 3975 Las Vegas. The applicant is requesting a Special Q Exception under Title 2.16.050 for a carport over the driveway.

The carport's structural design has been reviewed and has been found to be acceptable.

This letter is written pursuant to Title 2.16.050.5 and provides written approval for the carport design based upon structural design considerations from the Building Permits and Inspections section of Development Services.

JOHN F. COOK
MAYOR



JOYCE WILSON
CITY MANAGER

CITY COUNCIL
ANN MORGAN LILLY, DISTRICT 1
SUSANNAH M. BYRD, DISTRICT 2
VACANT, DISTRICT 3
MELINA CASTRO, DISTRICT 4
RACHEL QUINTANA, DISTRICT 5
EDDIE HOLGUIN, JR., DISTRICT 6
STEVE ORTEGA, DISTRICT 7
BETO O'ROURKE, DISTRICT 8

ENGINEERING DEPARTMENT TRAFFIC DIVISION

TO: Linda Castle, Zoning Administrator
Robert Peña, Zoning Secretary

FROM: Margarita Molina, Engineering Department – Traffic Division

DATE: April 28, 2008

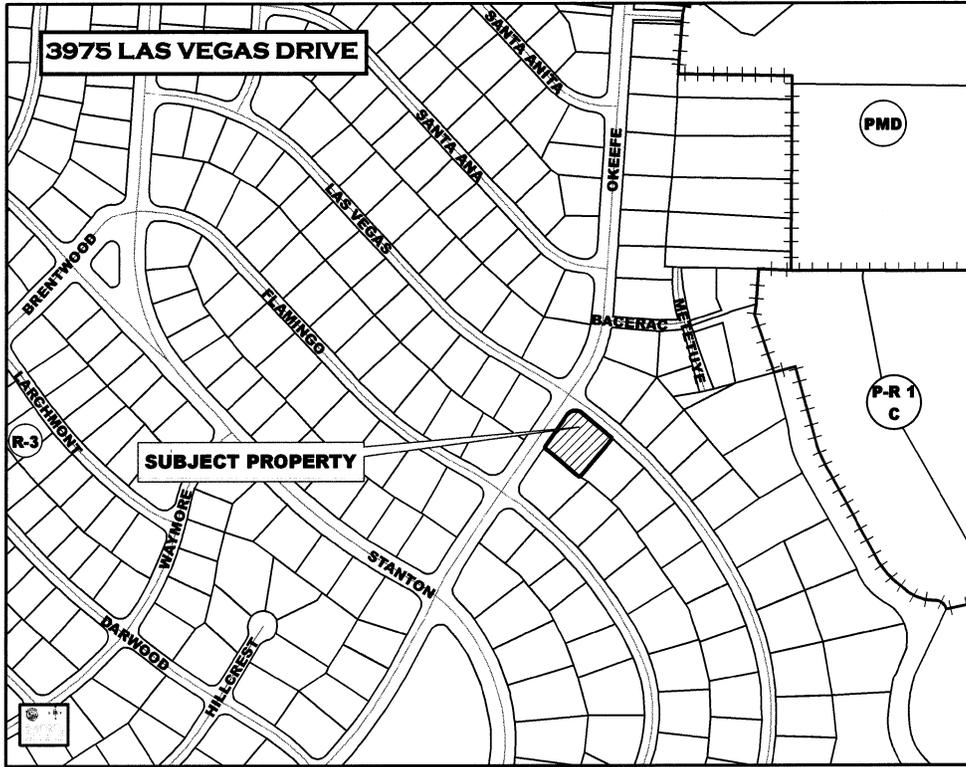
SUBJECT: **ZBA08-00031 – 3975 Las Vegas Drive**
Proposed Carport over a Driveway

Regarding the above referenced item, the Traffic Division has the following comments:

- *No objections to proposed carport over an existing driveway.
Carport shall not encroach on City property.*

Should your office or the applicant have any questions or comments, please contact me at 541-4223.

ZONING MAP



NOTIFICATION MAP

