

Applicant requests a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-4 (Residential) zone.

The request is for a 24' by 17' carport of which a 24' by 10' portion is proposed to encroach in the required front yard setback and to be located to within 11' of the front property line.

The required front yard setback is 21' in the R-4 zone district.

**BACKGROUND**

The applicant is requesting a carport that is proposed to be located to within 11 feet of the front property line, with materials and design to match the house. The roof is proposed to be no higher than the roof of the existing house.

**CALCULATIONS**

Permitted carport area = 244 sq. ft. (1,220 sq. ft. of first floor area ÷ 5)

Carport area proposed to encroach in required front yard setback = 244 sq. ft. (24' x 10')

Required front yard setback = 21'

Requested front yard setback = 11'

**STAFF RECOMMENDATION**

Staff recommends approval of the request for the Special Exception, pending BP&I's structural review, and with the condition that a carport shall not be permitted over the second driveway on the site.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

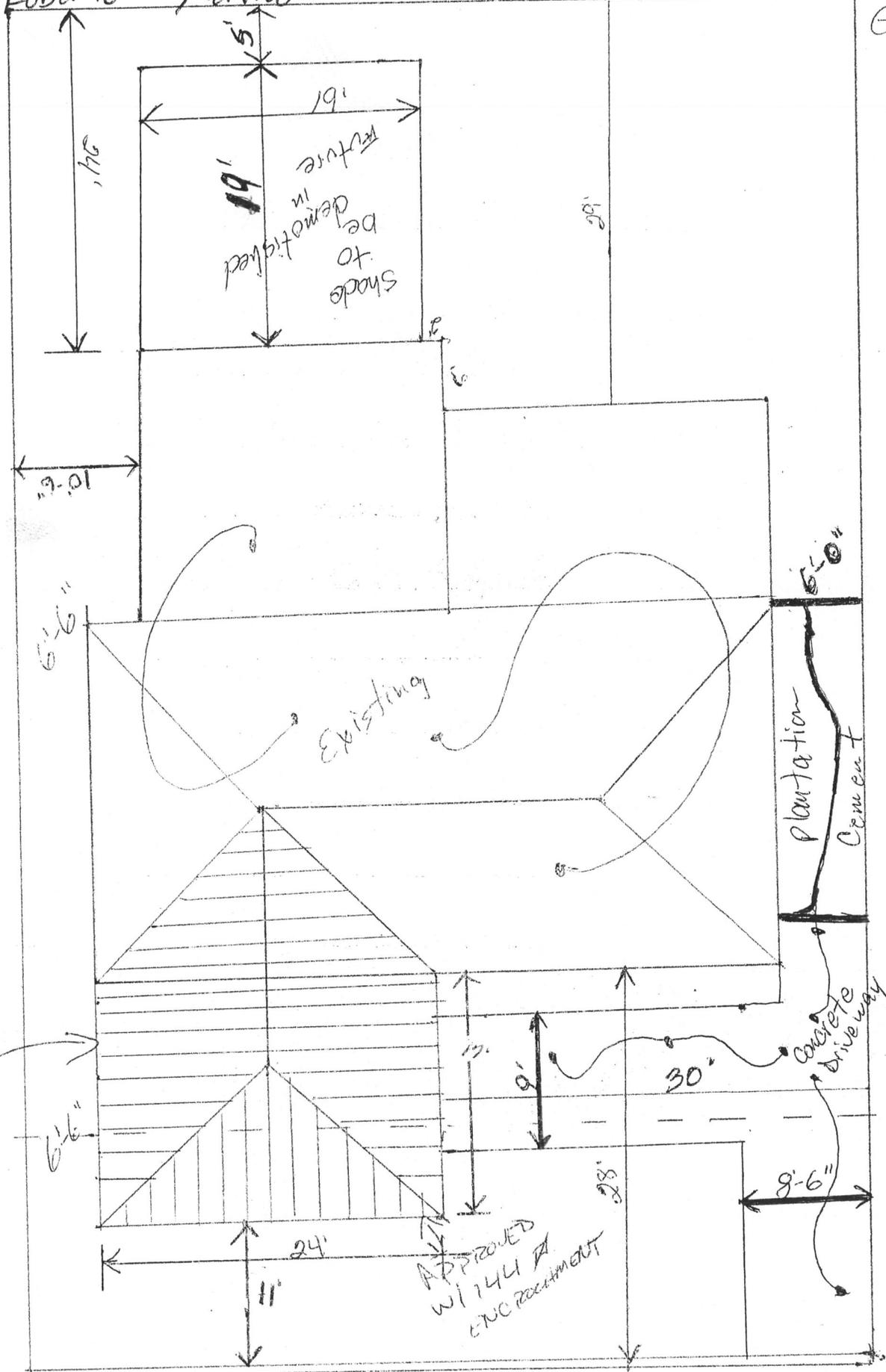
1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."

Roberto

Merino

351

San Gabriel

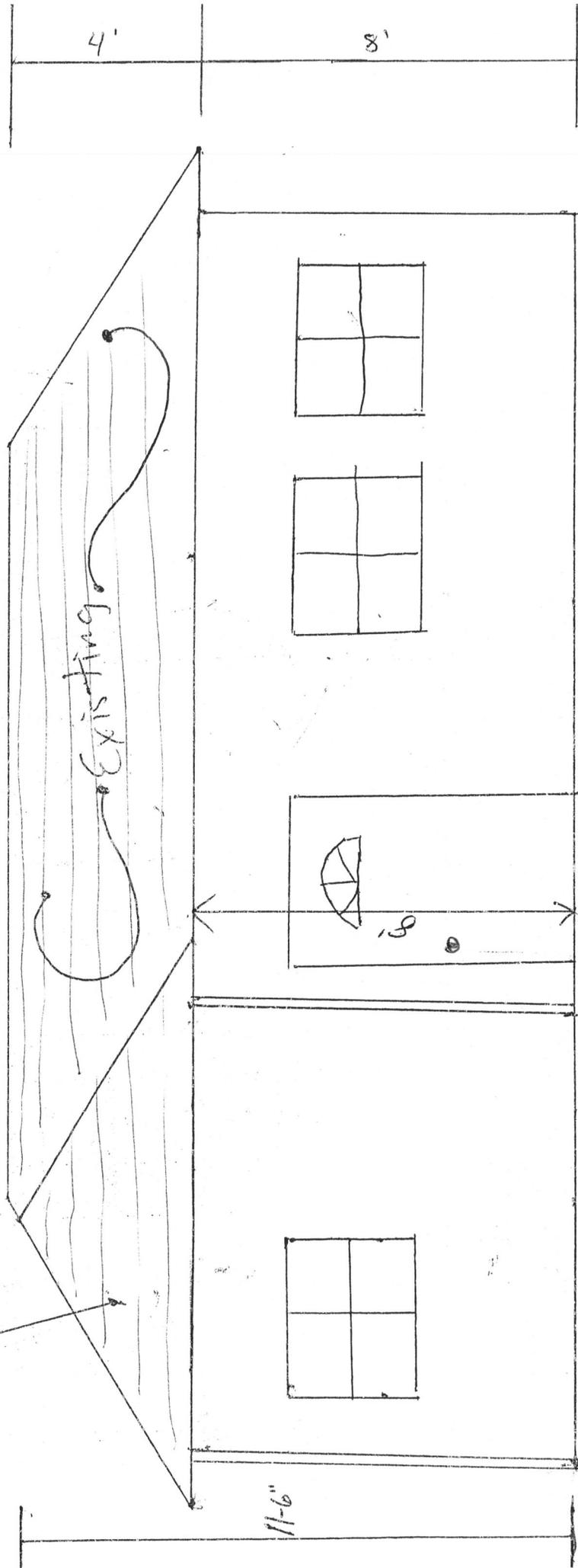


Site plan

ROBERTO MEJIA 351 San Gabriel

ROBERTO MEJIA

Proposed New  
Fence

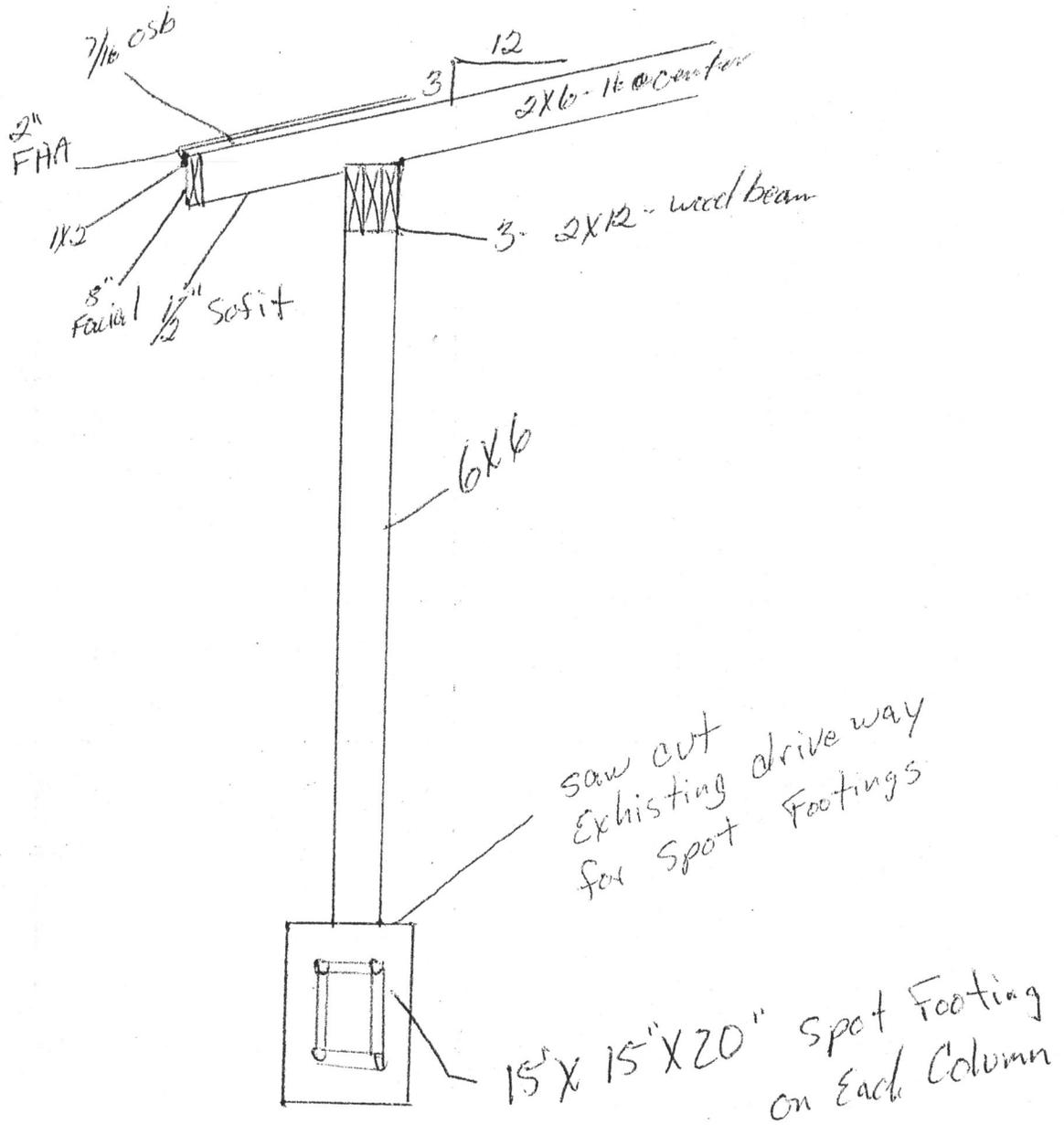


Elevations

Not to Scale

Roberto Merino  
Not to Scale

351 San Gabriel



# Material List

2X6 Roof Joists as used by home

6X6 - Posts Covered by 12" X 12" Columns Plaster to match.

2X12 wood beams on Hips - Gables & main beams

Stucco to match existing home.

Shingles to match existing home

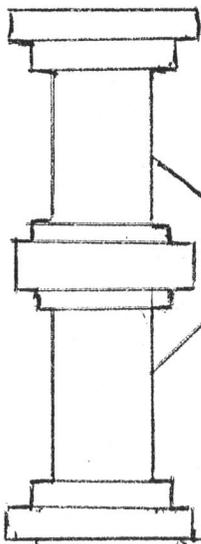
Roof pitch to match existing.

Facial color to match existing home.

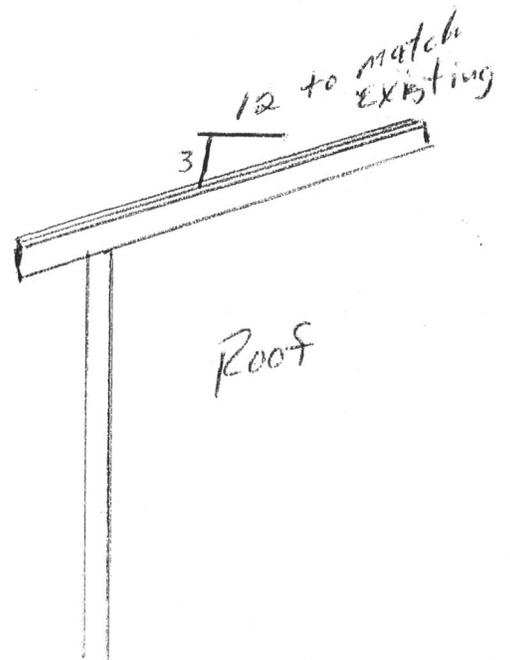
No Electrical

No Heating & Cooling.

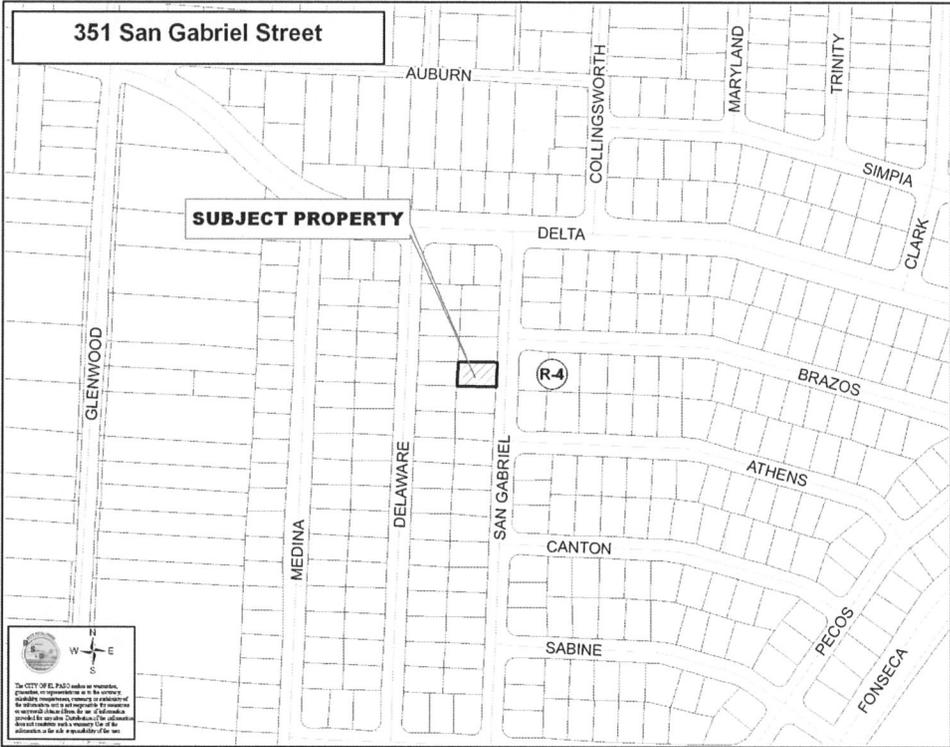
No plumbing



Columns - Plaster & Stucco to match Home



# ZONING MAP



# NOTIFICATION MAP

