

Applicants request a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-3 (Residential) zone.

The request is for a 23' by 20' carport of which a 23' by 14.5' portion is proposed to encroach in the required front yard setback and to be located to within 5'6" of the front property line.

The required front yard setback is 20' in the R-3 (Residential) zone district.

BACKGROUND

The applicants are requesting a carport that is proposed to be located to within 5.5' of the front property line. The applicant is proposing columns with stucco, but a site visit shows that the house is brick. The roof is proposed to be no higher than the roof of the existing house.

CALCULATIONS

Permitted carport area = 377 sq. ft. (1,886 sq. ft. of first floor area ÷ 5)

Carport area proposed to encroach in required front yard setback = 333.50 sq. ft. (23' x 14.5')

Required front yard setback = 20'

Requested front yard setback = 5'6" (5.5')

STAFF RECOMMENDATION

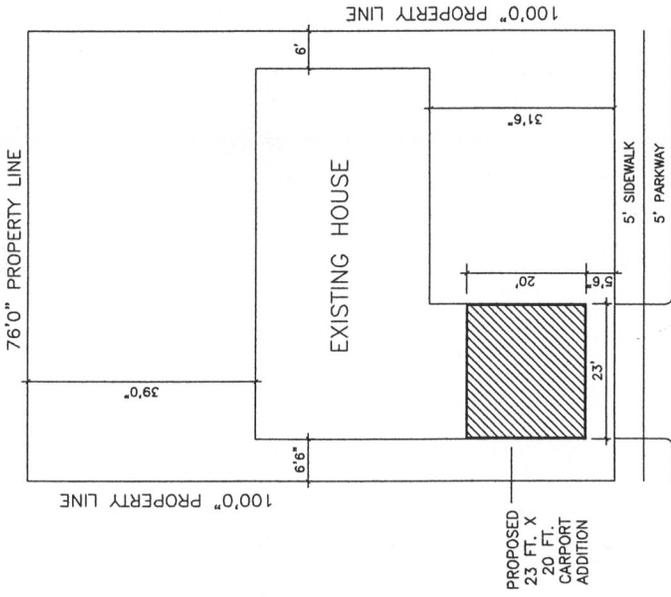
Staff recommends approval of the request for the carport, pending BP&I's structural review, and with the condition that the posts be faced with brick to match the house.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."

SITE PLAN

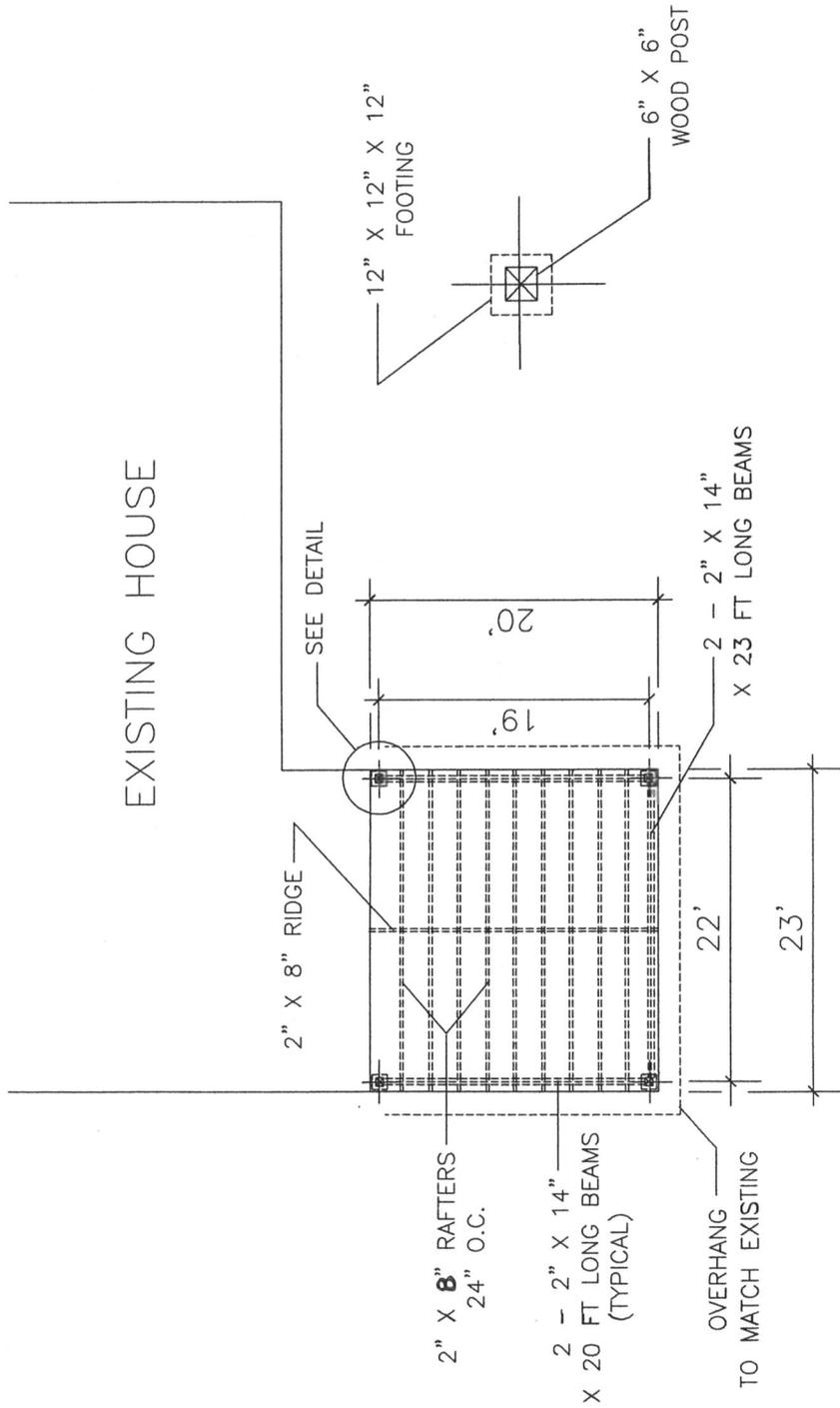


LEGAL DESCRIPTION:

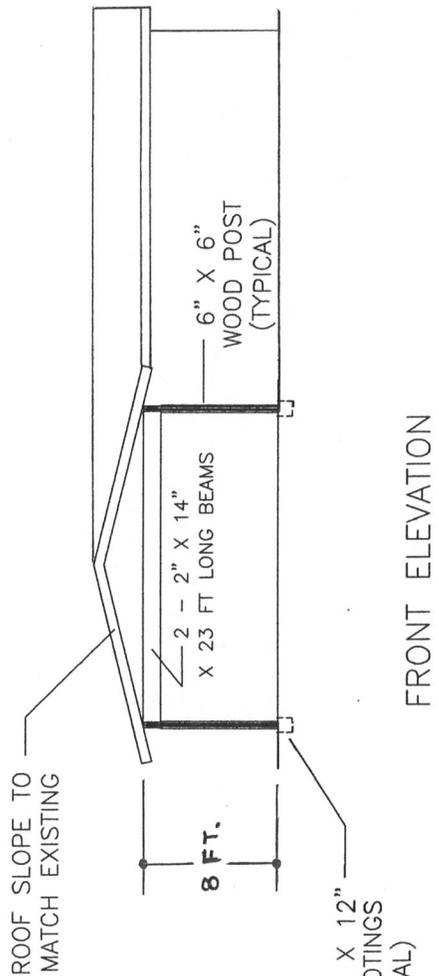
BLOCK - 5
LOT - 20
SCOTSDALE ADDITION UNIT 2
3025 WEDGEWOOD LANE
EL PASO, TEXAS
ZONE - R 3

3025 WEDGEWOOD LANE

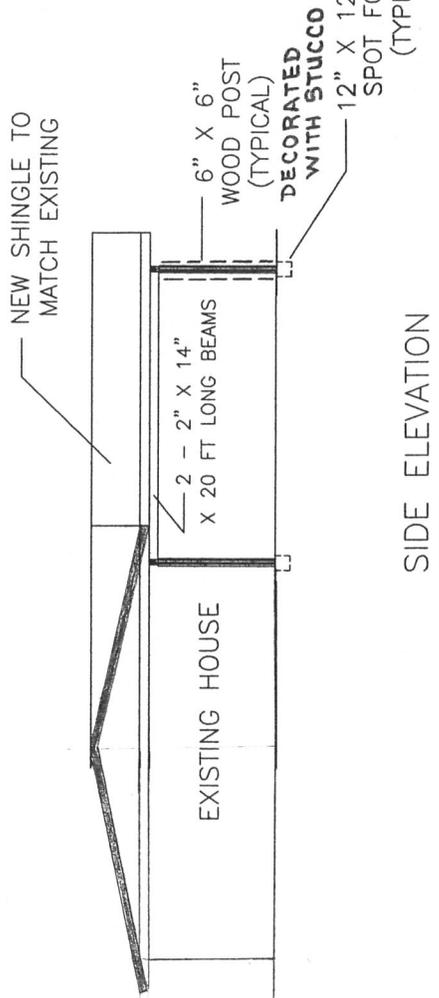
PROPOSED CARPORT ADDITION TO THE RESIDENCE OF MR. AND MRS.
BENNY MARTINEZ AT 3025 WEDGEWOOD LANE EL PASO, TEXAS



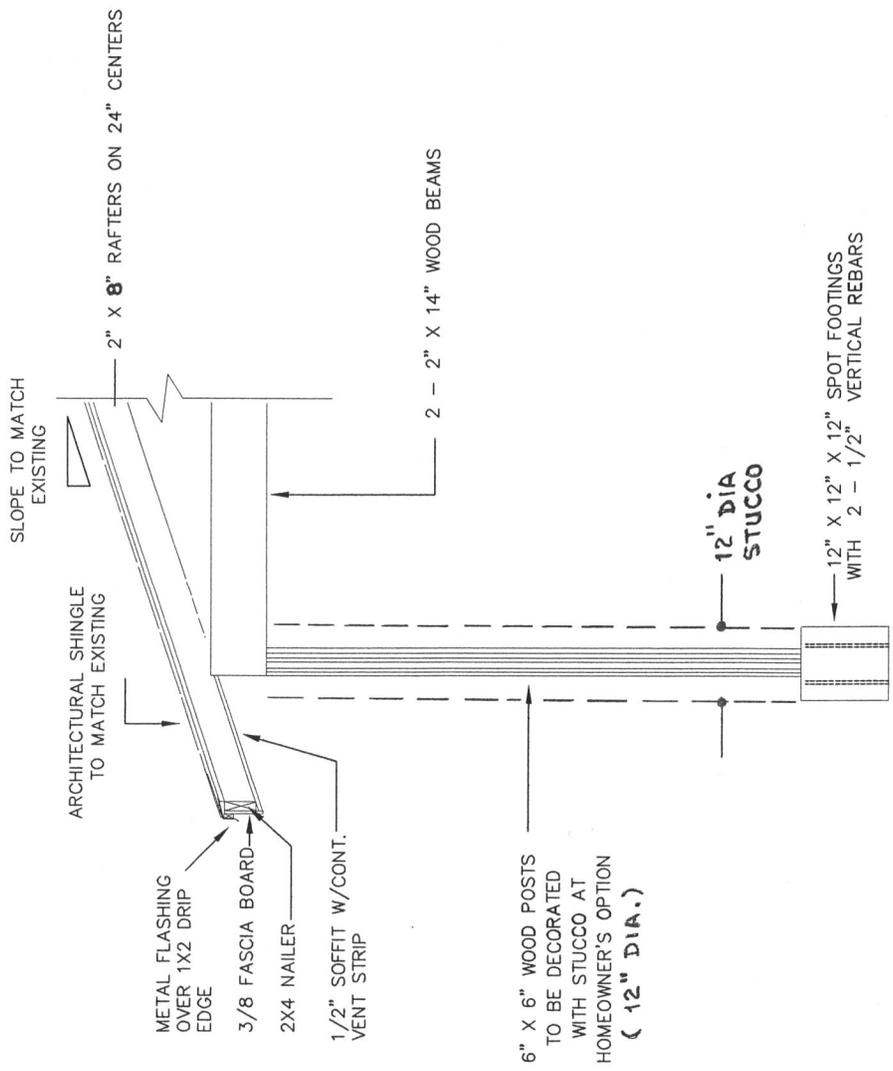
ROOF FRAMING AND PLAN VIEW



FRONT ELEVATION



SIDE ELEVATION



Open Carport Detail

NOT TO SCALE