

**Applicant requests a Special Exception under Section 2.16.050 G (Rear Yard Setback) in an R-3 (Light Density Residential) zone.**

This would permit the existence of a 17.5' by 15.5' addition that encroaches 7' into the required rear yard setback.

The required cumulative front and rear yard setback total is 50' in an R-3 zone.

**BACKGROUND**

The applicant is requesting to legalize an existing enclosure of a patio that was never approved by the ZBA.

**CALCULATIONS**

1/3 average lot width = 21.5' (64.50' ÷ 3)

Requested width of encroachment = 17.5'

Required rear yard setback = 25'

Requested rear yard setback = 18'

**STAFF RECOMMENDATION**

Staff recommends approval of the request as it meets the requirements of the Special Exception G.

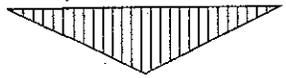
The Zoning Board of Adjustment is empowered under Section 2.16.050 G to:

"Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

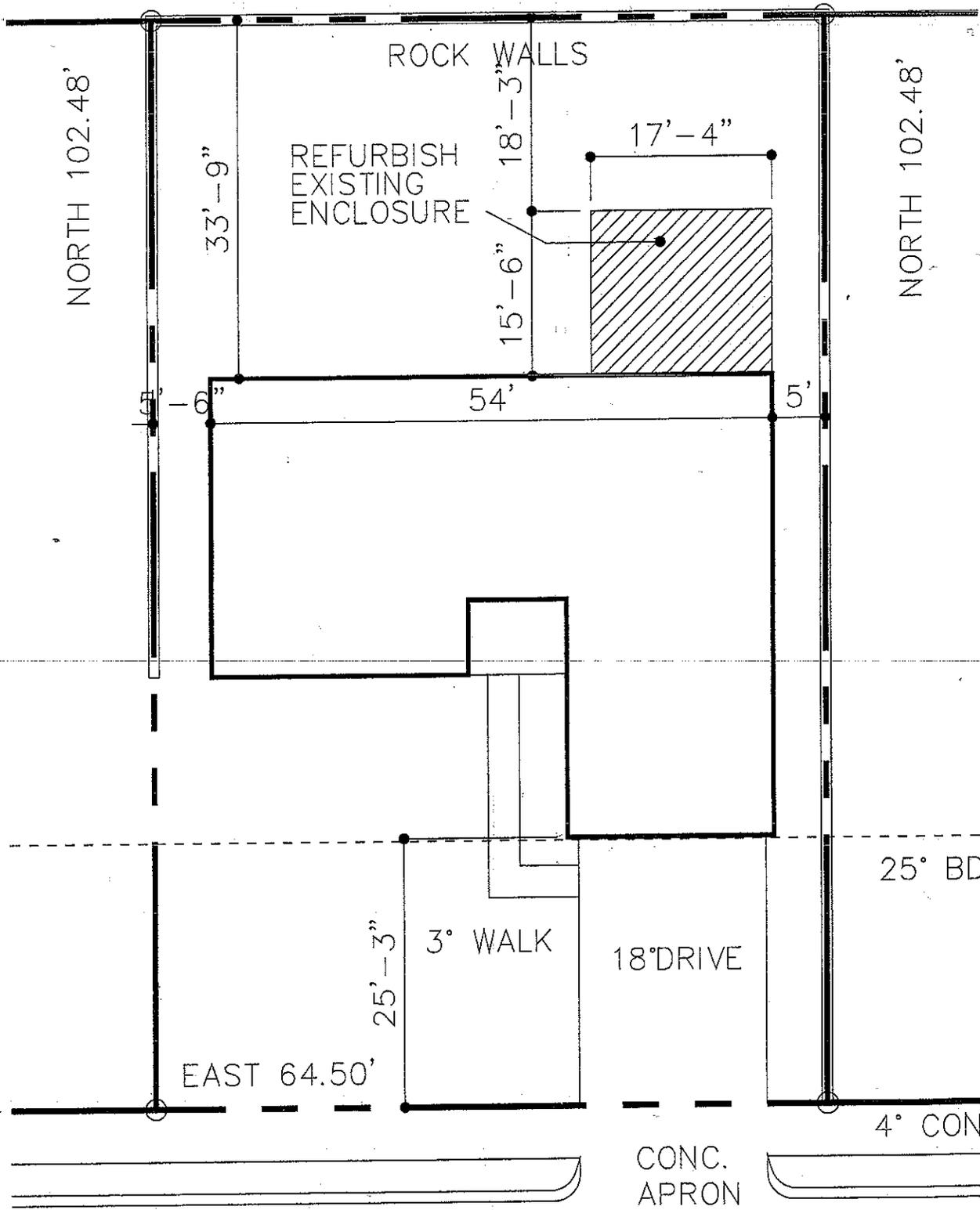
1. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum 10 foot rear yard setback shall be required;
2. The total width of all extensions granted shall not exceed one-third of the average width of the site;
- ~~3. The minimum side and side street yards shall not be reduced;~~
4. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred and twenty square feet;
5. Unless otherwise provided in this ordinance, all remaining areas of the required rear yard shall be permanent open space;
6. The extension shall not permit the creation of an additional dwelling unit or an over-intensive use or coverage of the site;
7. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought;
8. The public convenience and welfare will be substantially served;
9. The use of neighboring property will not be substantially injured; and
10. Include any conditions and safeguards which the board deems appropriate, such as site arrangement, landscaping and hours of operation."

SCALE: 1"=30.00'

**NORTH**



WEST 64.50'



25° BDLG. S

3° WALK

18° DRIVE

EAST 64.50'

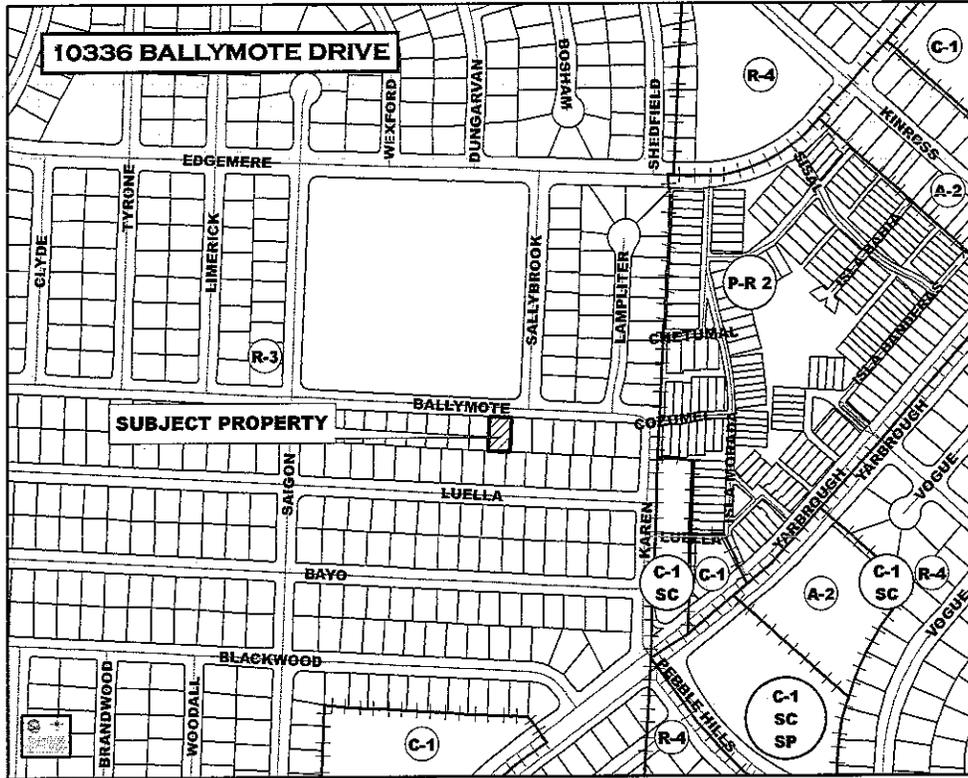
CONC.  
APRON

4° CONC. SIL

27'

**10336 BALLYMOTE DRIVE**

# ZONING MAP



# NOTIFICATION MAP

