

**Applicant requests a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-3A (Residential) zone.**

The request is for a proposed 19' by 17' carport of which a 19' by 15' portion is encroaching in the required front yard setback.

The required front yard setback is 20' in the R-3A zone district.

**BACKGROUND**

The applicant is requesting a carport that is proposed to be located to within 3'10" of the front property line, with materials and design to match the house. The roof is proposed to be no higher than the roof of the existing house. Building Permits & Inspections' review of the structural drawings is pending. The applicant's representative has stated he plans to use pre-engineered trusses. There is a utility easement at the front property line, and the applicant has obtained letters from the utility companies stating "no objections" to building over the easement.

**CALCULATIONS**

Permitted carport area = 312.80 sq. ft. (1,564 sq. ft., first floor area ÷ 5)

Carport area proposed to encroach in required front yard setback = 285 sq. ft. (19' x 15')

Required front yard setback = 20'

Requested front yard setback = 3.83'

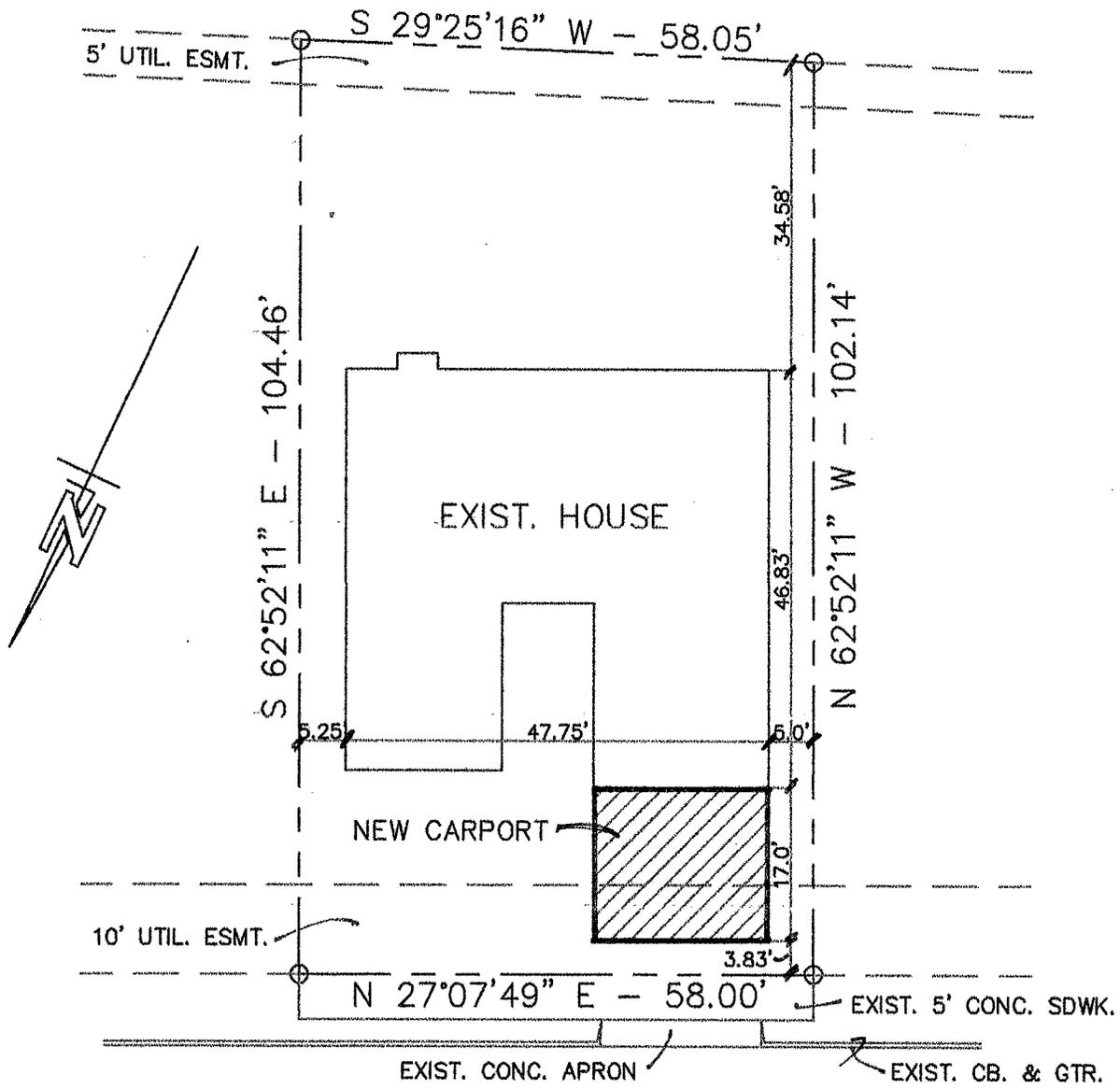
**STAFF RECOMMENDATION**

Staff recommends approval of the request for the carport, pending receipt of the structural review by BP&I, with a condition that the posts be faced with brick as indicated on the elevation drawing.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



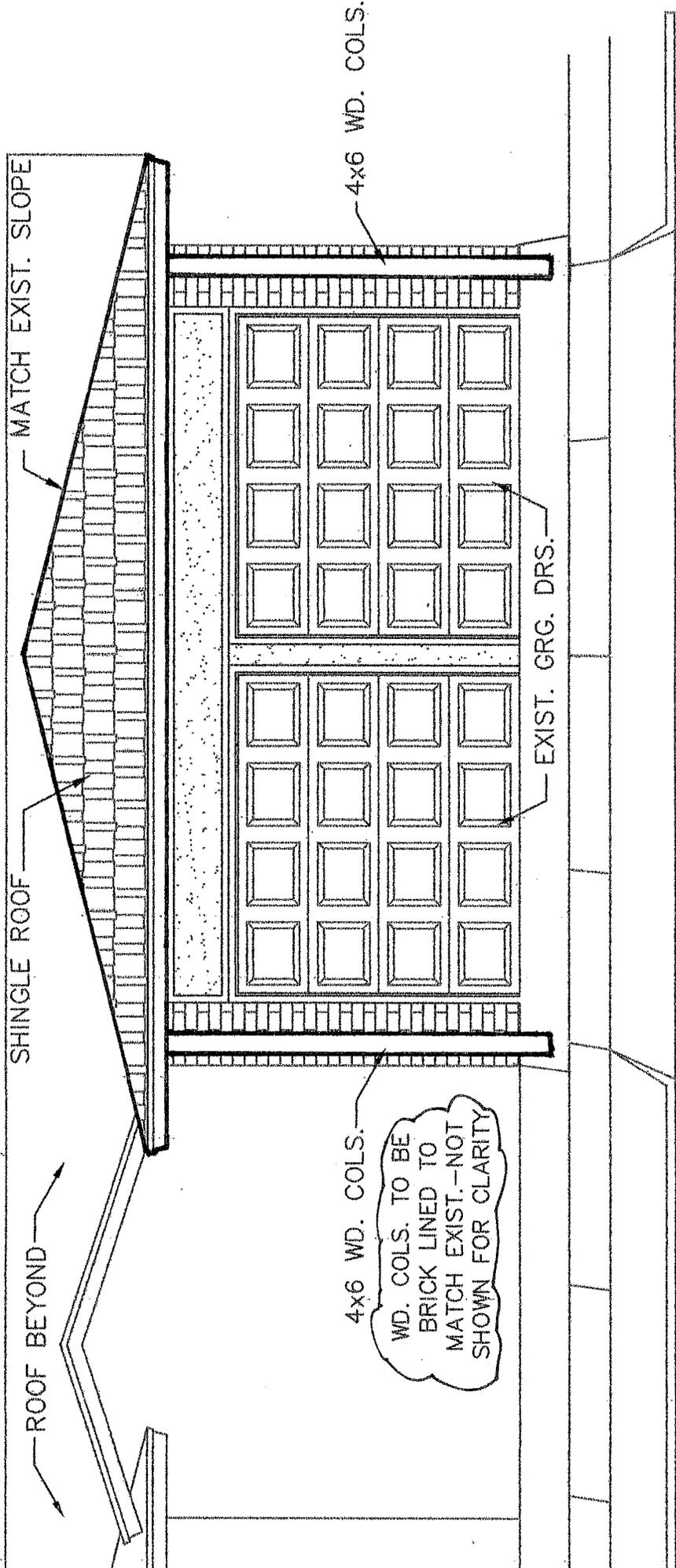
4826 MAUREEN CIRCLE

LEGAL DESCRIPTION

LOT 33 - BLOCK 25  
 CASTNER HEIGHTS - UNIT FOUR  
 CITY OF EL PASO, TEXAS

SITE PLAN 20'

ALL MATERIALS TO BE SIMILAR TO EXISTING



4x6 WD. COLS. TO BE BRICK LINED TO MATCH EXIST.—NOT SHOWN FOR CLARITY

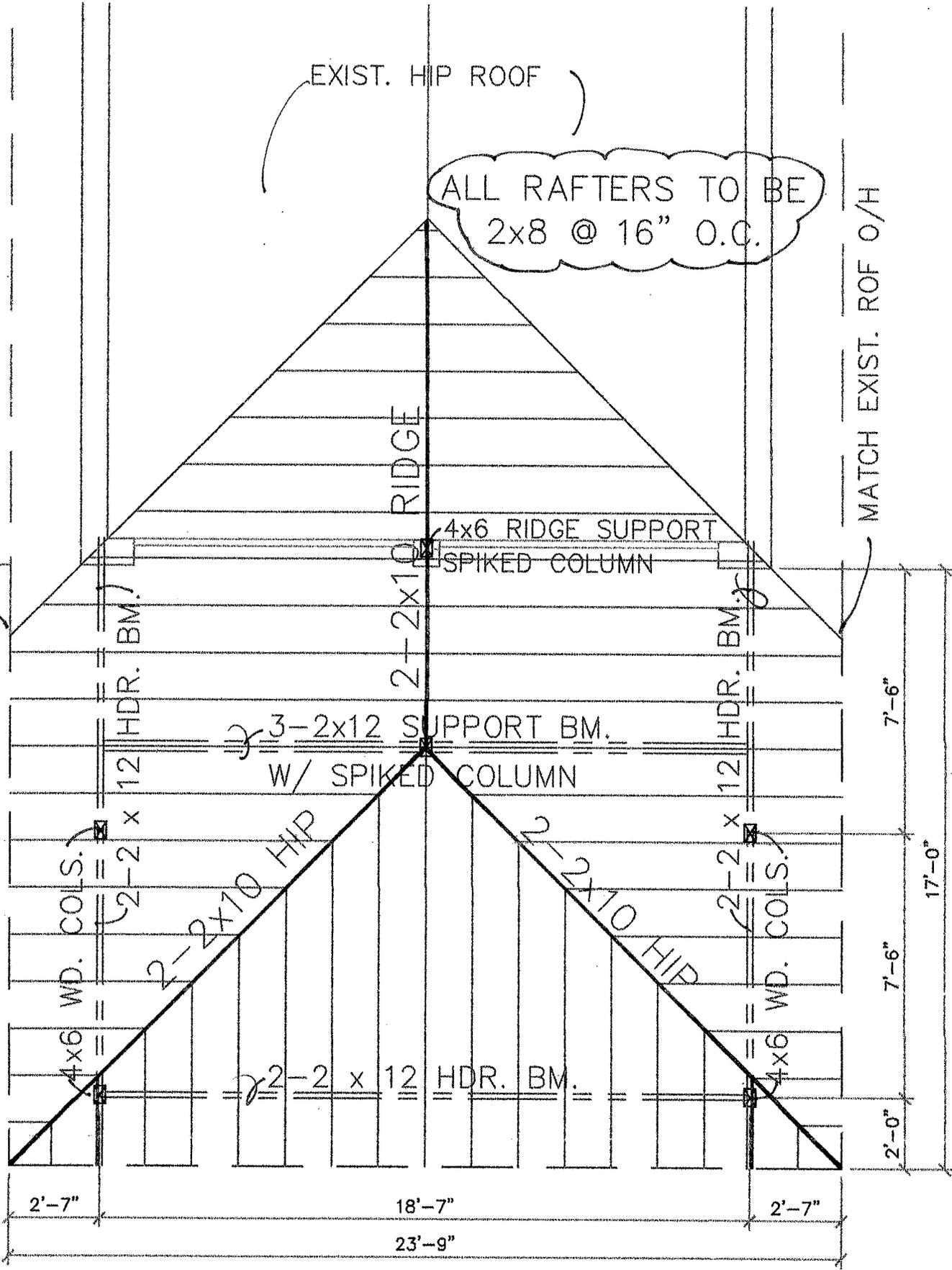
FRONT VIEW 1/4"

MATCH EXIST. ROF O/H

EXIST. HIP ROOF

ALL RAFTERS TO BE  
2x8 @ 16" O.C.

MATCH EXIST. ROF O/H



2'-7"

18'-7"

2'-7"

23'-9"

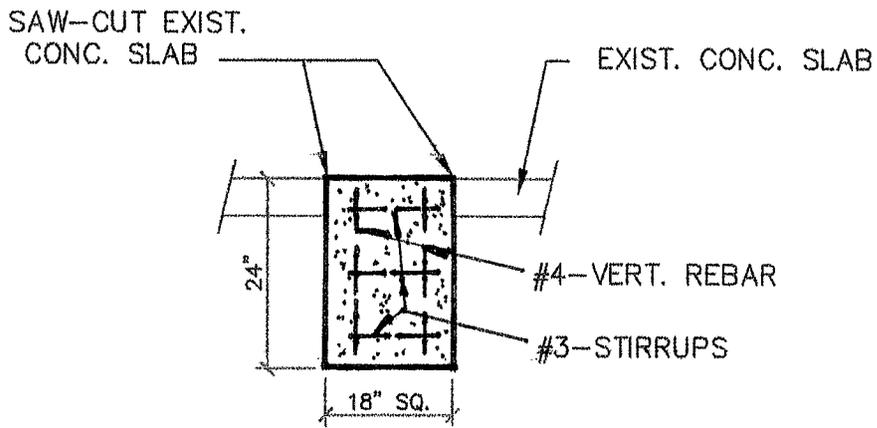
2'-0"

7'-6"

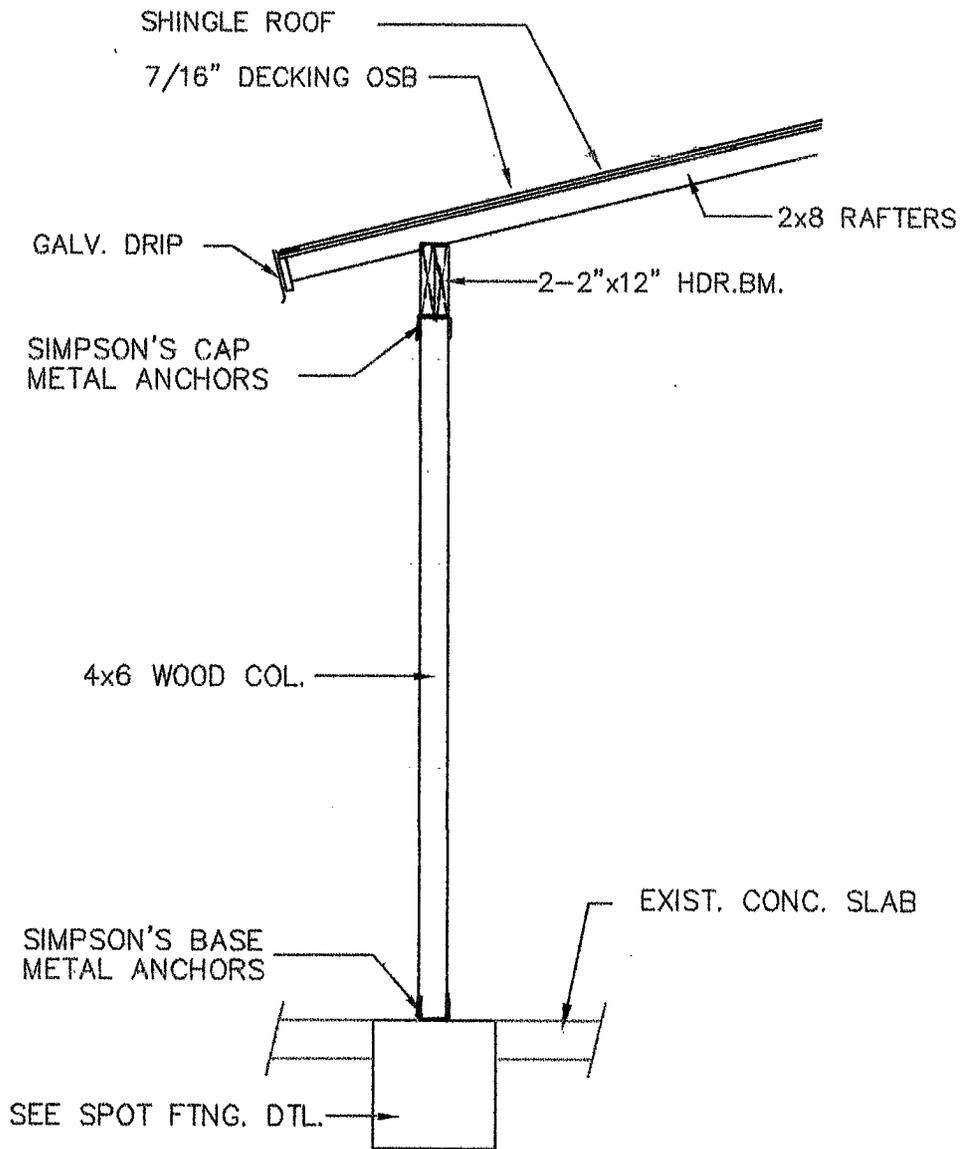
7'-6"

17'-0"

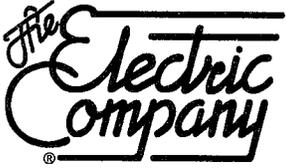
ROOF FRAMING 1/4"



SPOT FOOTING DETAIL



TYPICAL COLUMN DETAIL



**El Paso Electric**

P.O. Box 982  
El Paso, Texas  
79960-0982  
(915) 543-5711

May 13, 2010

City Inspector  
Building Permits & Inspections  
Development Section – 5<sup>th</sup> floor  
2 Civic Center Plaza  
El Paso, Texas 79901-1196

Dear City Inspector:

4826 MAUREEN CIRCLE,  
EL PASO, TEXAS

You recently requested a Letter of Non-Objection for the installation of a PORCH located at 4826 Maureen Circle, El Paso, Texas, on the land described as a portion of Lot 33, Block 35, Castner Heights Unit 4, El Paso County, Texas.

This letter confirms whereby El Paso Electric Company (EPE) has no objection to your request and approval granted at this time.

If you have any questions, please contact me at (915) 543-4364.

Sincerely,

A handwritten signature in cursive script that reads "Gloria Franco".

Gloria Franco, S/RWA, RW-NAC  
Senior Right-of-Way Specialist

Attachment



March 11, 2010

Lucila Henard & Mario Puig  
4826 Maureen Circle  
El Paso, Texas 79924

Re: Encroachment of Utility Easement, 4826 Maureen Circle, Lot 33, Block 25, Castner Heights #4

Dear Mrs. Henard & Mr. Puig:

Time Warner Cable has reviewed the subdivision plat, cable plans for subject property and finds no objection for the installation of a carport in front of subject property.

Time Warner Cable does not object to the 10' utility easement encroachment crossing in front of this property.

If you have any questions, please call me at 772-4422.

Sincerely,

A handwritten signature in cursive script that reads 'Eddie Gomez Const.'.

Eddie Gomez  
Construction Technician



April 30, 2010

Lucila & Mario Puig  
4826 Maureen Circle  
El Paso, Texas 79924

**RE: *Encroachment of Utility Easement @ 4826 Maureen Circle, Lot 33, Block 25, Castner Heights, City of El Paso, El Paso County, Texas.***

Dear Mrs. Henard & Mr. Puig:

Texas Gas Service has no main line facilities within the utility easement in the above-mentioned property. However, Texas Gas Service has an existing service line located within the right side of the property. For your safety, please call **811** for line locates before any construction commences.

Texas Gas Service does not object to the proposed car port on the existing encroachment, but does not waive or relinquish any rights held to operate, maintain, renew, construct, reconstruct, repair, add or remove gas lines, conduit or other gas facilities that are now located or may be located in the future on said easement. In addition, any prospective buyer must be advised that a gas line is presently located within the subject easement(s) and no permanent structure can be built on our main line facility.

Texas Gas Service shall not be responsible for any damages to said structure, or to the property located on said utility easement, resulting directly or indirectly from the exercise of any of the aforementioned rights.

Should you have any questions or require further information, please feel free to call me at (915) 680-7242.

Regards,

Claudia Y. Villanueva  
Engineering Department

Texas Gas Service  
4700 Pollard Street, El Paso, TX 79930-6806  
Post Office Box 31458, El Paso, TX 79931-0458  
915-680-7200  
[www.texasgasservice.com](http://www.texasgasservice.com)



April 30, 2010

Lucila Henard & Mario Puig  
4826 Maureen Circle  
El Paso, Texas 79924

RE: Encroachment of Utility Easement, 4826 Maureen Circle, Lot 33, Block 25, Castner Heights #4

Dear Mrs. Henard & Mr. Puig:

The El Paso Water Utilities' Engineering Department has reviewed the subdivision plat, water and sewer plans for subject property and finds no objection for the installation of a carport in front of subject property.

The El Paso Water Utilities does not object to the 10' utility easement encroachment crossing in front of this property.

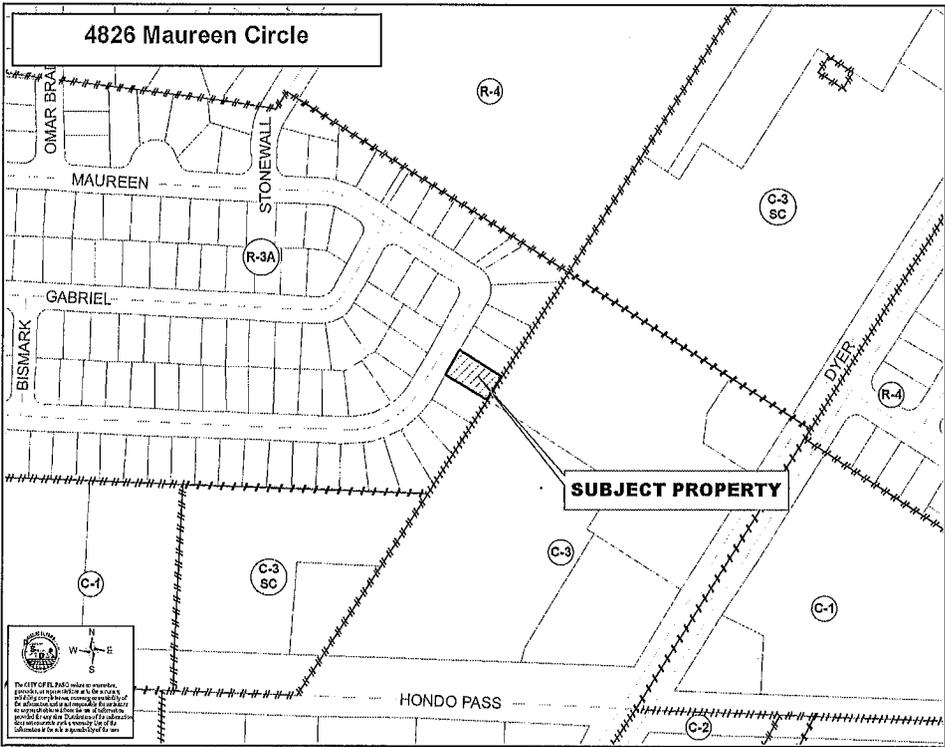
If you have any further questions, please call me at 594-5642.

Sincerely,

A handwritten signature in black ink that reads "Francisco J. Provencio". The signature is written in a cursive style.

Francisco J. Provencio  
Right-of-Way

# ZONING MAP



# NOTIFICATION MAP

