

Applicants request a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-3 (Residential) zone.

The request is for a proposed 26' by 16'-6" carport of which a 26' by 10' portion is encroaching in the required front yard setback.

The required front yard setback is 20' in the R-3A zone district.

BACKGROUND

The applicant is requesting a carport that is proposed to be located to within 10' feet of the front property line, with materials and design to match the house. The roof is proposed to be no higher than the roof of the existing house. Building Permits & Inspections' review of the structural drawings is pending. There is no utility easement at the front property line.

CALCULATIONS

Permitted carport area = 372 sq. ft. (1,860 sq. ft. first floor area ÷ 5)

Carport area proposed to encroach in required front yard setback = 260 sq. ft. (26' x 10')

Required front yard setback = 20'

Requested front yard setback = 10'

STAFF RECOMMENDATION

Staff recommends approval of the request as it meets the requirements of the Special Exception K, pending receipt of BP&I review.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."

General Notes

NEW CARPORT ADDITION FOR:
MRS. IRMA AMAYA
OWNER

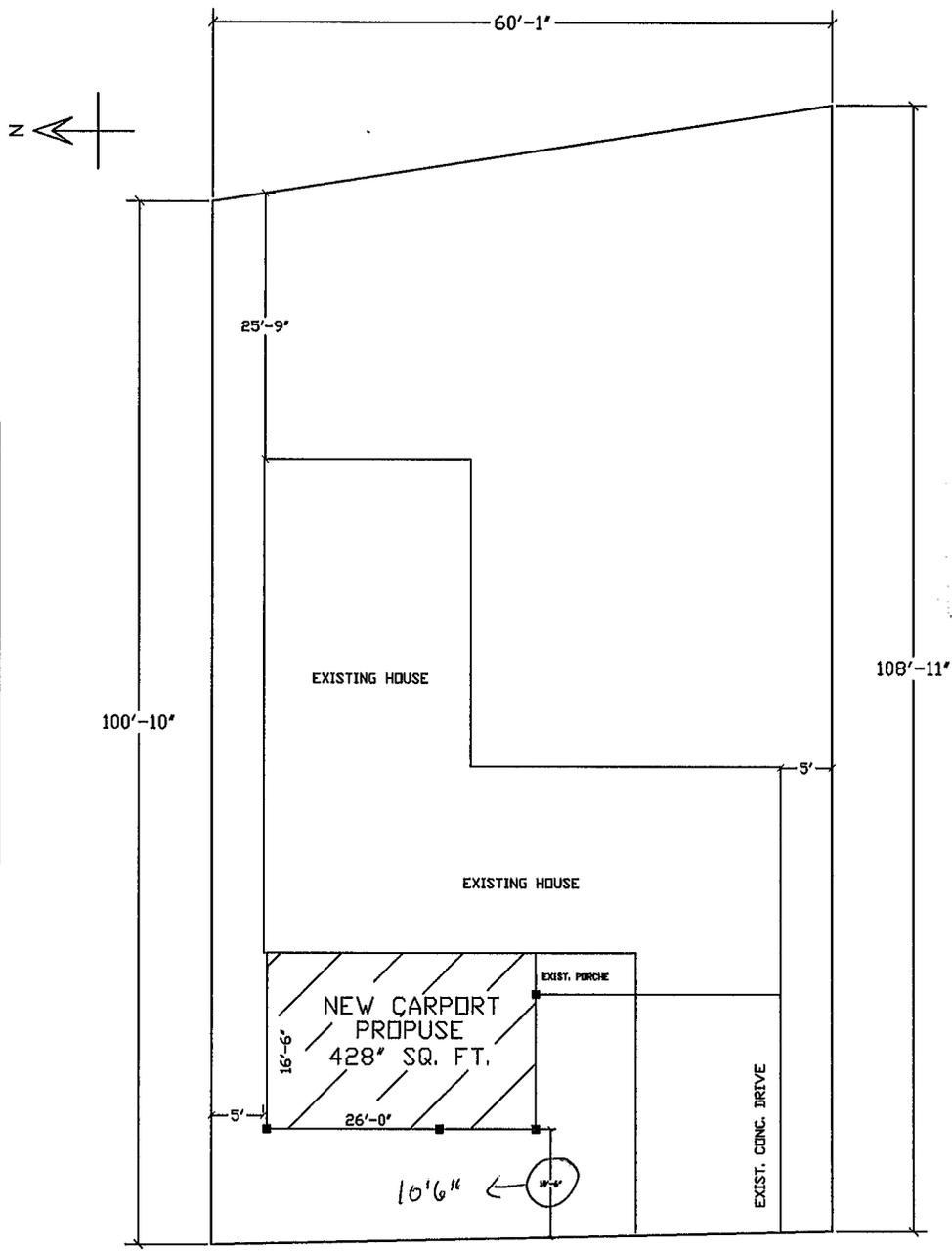
DRW. J. ANGEL RODRIGUEZ
Date MAY 19, 2010
PS A.P.D.

NEW CARPORT ADDRESS AND
LEGAL DESCRIPTION
LITERS BLOCK- 246
VISTA DEL SOL UNIT- 46
1608 RICK RHODES DRIVE
EL PASO, TEXAS

CONTRACTOR:
MR. MANUEL MENA
M & M
ROOFING AND CONSTRUCTION
(915) 887-7766

SITE PLAN
Date MAY 19, 2010
Scale 1" = 20'
Sheet A1.1

SITE PLAN



1608 RICK RHODES DRIVE ST.

NEW CARTPORT ADDITION FOR:
 MRS. IRMA AMAYA
 OWNER

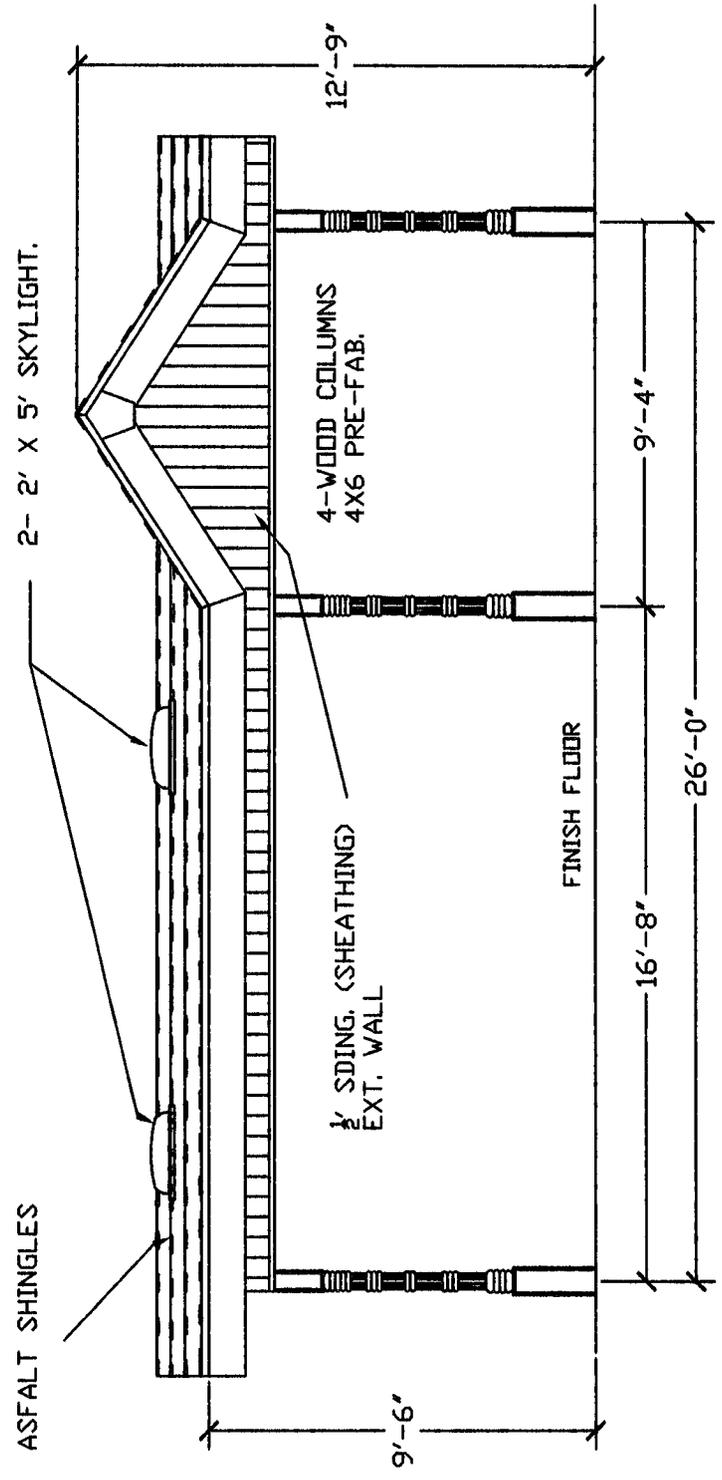
REV.	J. ANGEL RODRIGUEZ
DATE	MAY 15, 2008
BY	A.P.D.

NEW CARTPORT ADDRESS AND
 LEGAL DESCRIPTION
 LOT 28 BLOCK 246
 VISTA DEL SOL UNIT - 46
 REPLAT - 99
 1688 ROCK RIDGES DRIVE

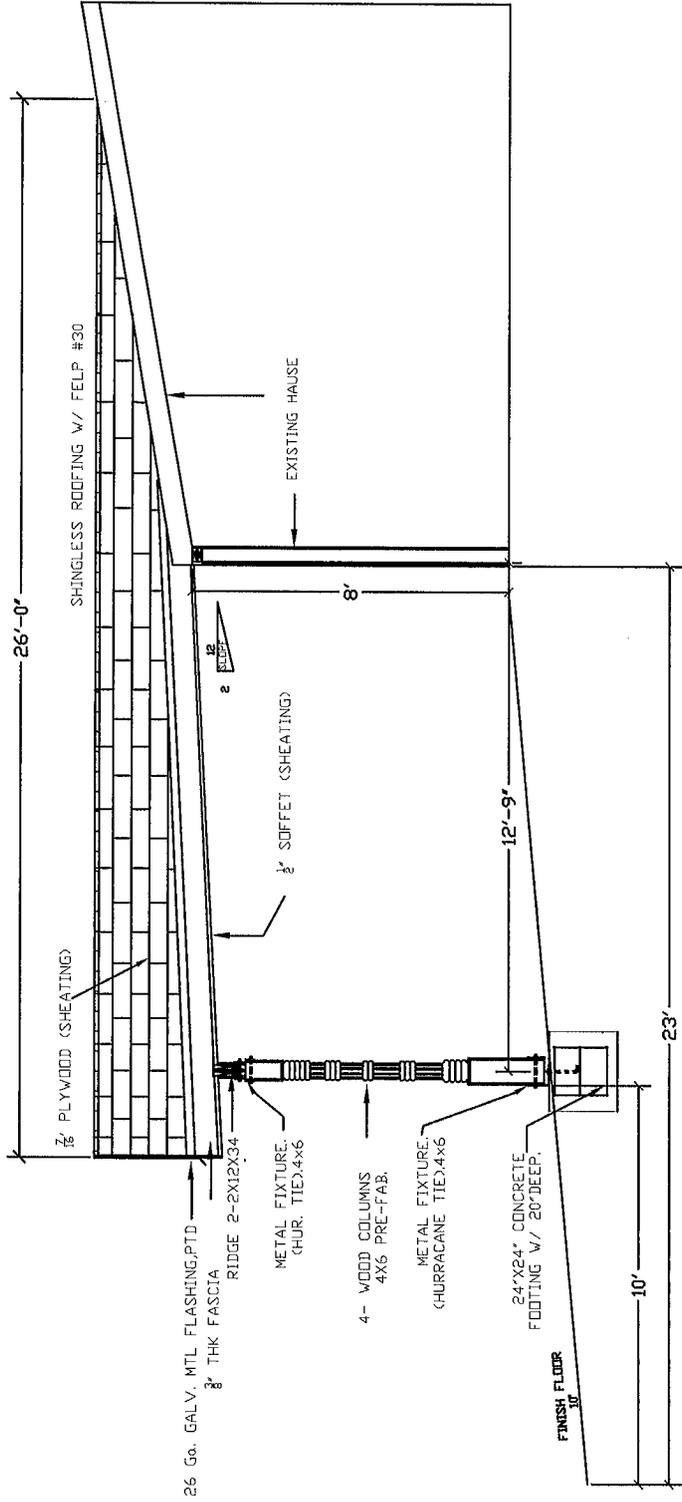
CONTRACTOR:
 MR. MANUEL MENA
M & M
 ROOFING AND CONSTRUCTION
 (915) 887-7708

FRONT VIEW	A1.2
DATE	MAY 15, 2008
SCALE	1/8" = 1'-0"

FRONT ELEVATION PLAN



RIGHT ELEVATION PLAN



General Notes

NEW CARTPORT ADDITION FOR:
MRS. IRMA AMAYA
OWNER

DRW. J. ANGEL RODRIGUEZ	
DATE MAY 19, 2000	
PR. A.P.D.	

NEW CARTPORT ADDRESS AND LEGAL DESCRIPTION

LOT 38 BLOCK - 246
VISTA DEL SOL UNIT - 46
REPLAT - 98
1608 ROCK RIDGES DRIVE

CONTRACTOR:
MR. MANUEL MENA
M & M
ROOFING AND CONSTRUCTION
(515) 887-7766

RIGHT VIEW

MAY 19, 2000

3/16" = 1'-0"

A1.6

NEW CARTPORT ADDITION FOR:
MRS. IRMA AMAYA
OWNER

DRN J. ANGEL RODRIGUEZ
Scale MAY 19, 2000
PS AP.D

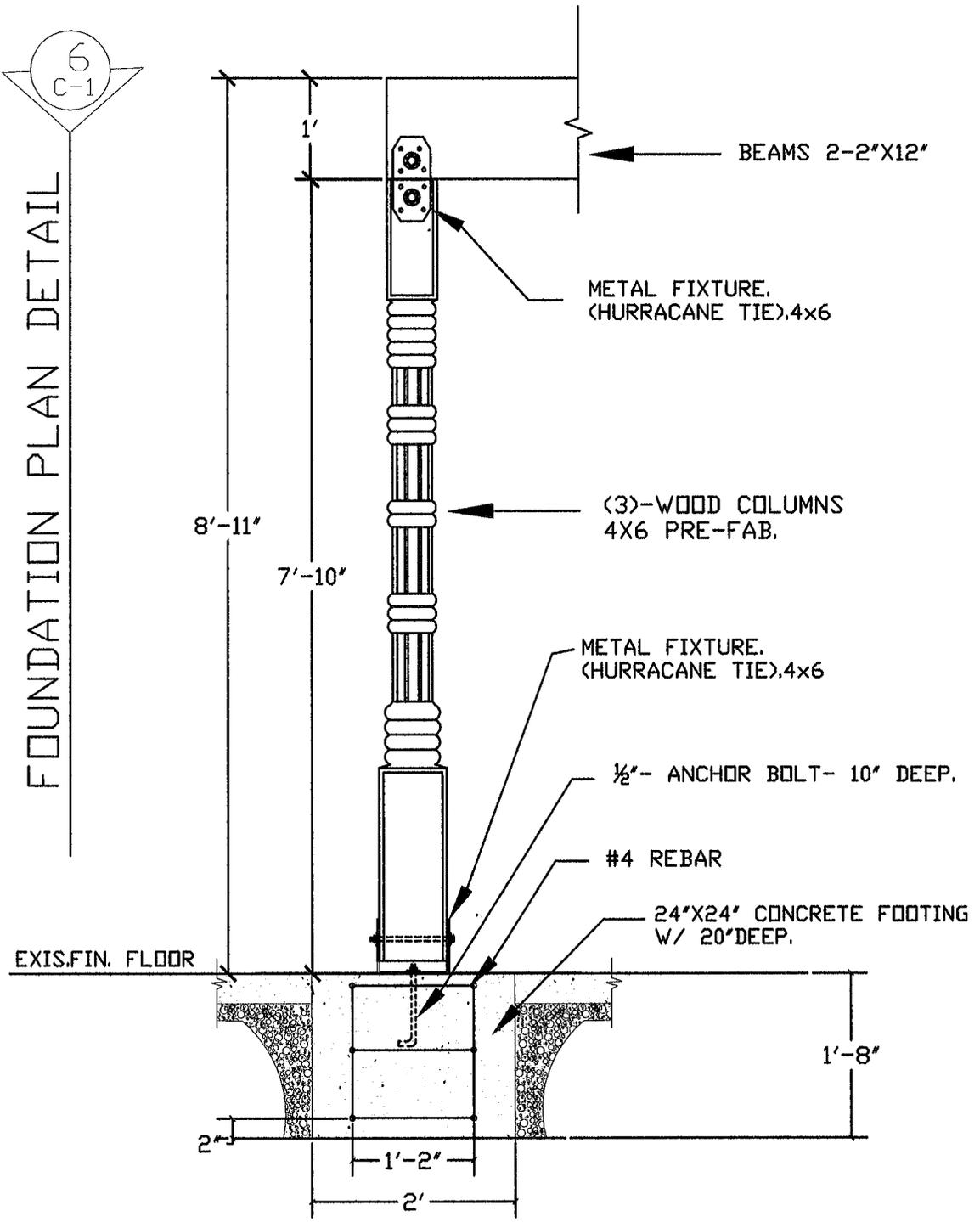
NEW CARPORT ADDRESS AND
LEGAL DESCRIPTION
LULSB BLK- 246
VISTA DEL SOL UNIT- 46
REPLAT- 74
1500 RICK REYES DRIVE

CONTRACTOR:
MR. MANUEL MENA
M & M
ROOFING AND CONSTRUCTION
(915) 887-7766

FIGURAT. DETAIL
Date MAY 19, 2000
Scale 1"=1'-0"

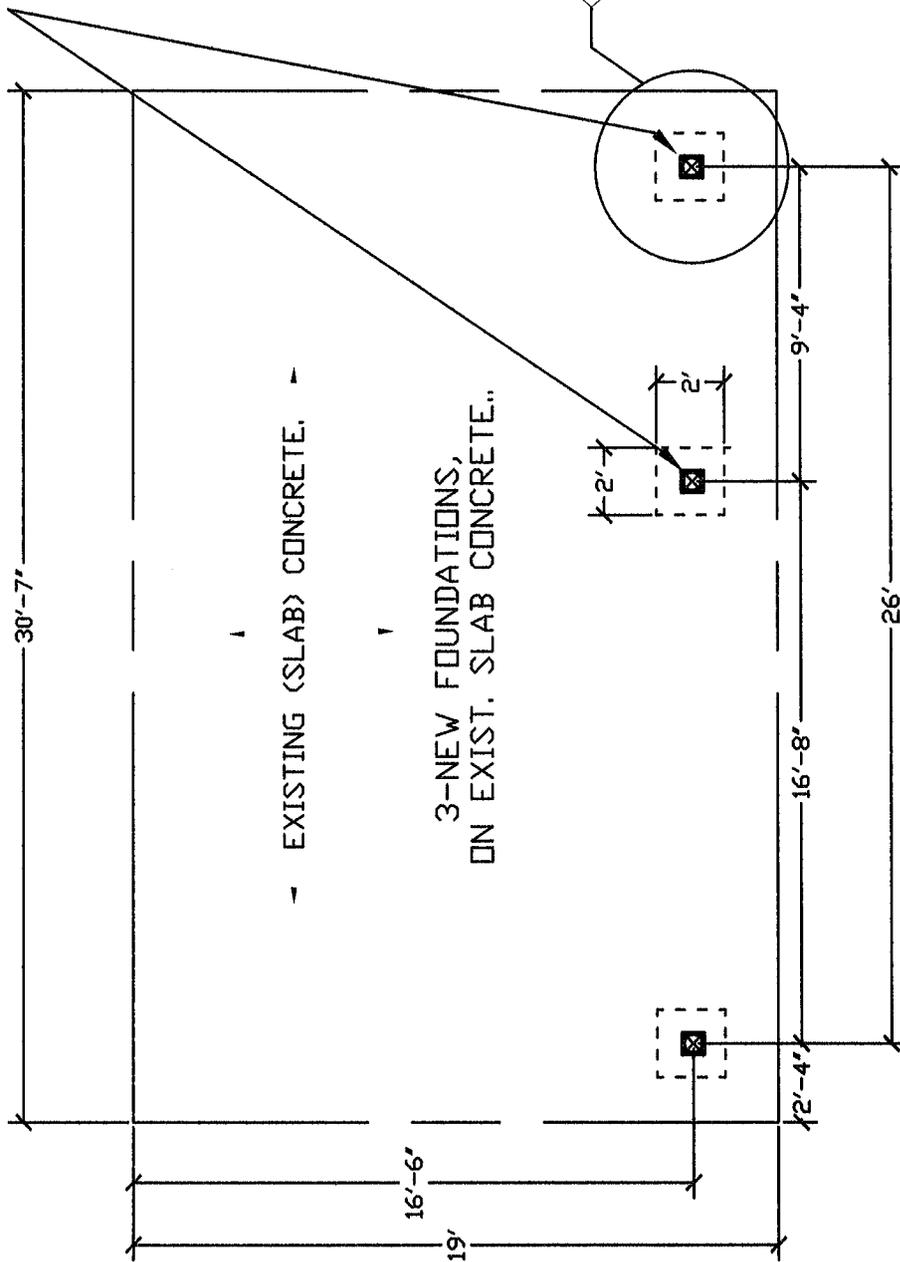
6
C-1

FOUNDATION PLAN DETAIL



FOUNDATION PLAN

(3)- 4"X6" WOOD POST ON 24"X24"X 20"DEEP SPOT FTNG.



EXISTING (SLAB) CONCRETE.

3-NEW FOUNDATIONS, ON EXIST. SLAB CONCRETE.

NEW CARTPORT ADDITION FOR:
MRS. IRMA AMAYA
OWNER

REV	J. ANGEL RODRIGUEZ	
Date	MAY 19, 2000	
PS	A.P.D.	

NEW CARTPORT ADDRESS AND LEGAL DESCRIPTION
LIT.38 BLDG- 246
VISTA DEL SOL UNIT- 46
REPLAN #
1608 ROCK RIDGES DRIVE

CONTRACTOR:
MR. MANUEL MENA
M & M
ROOFING AND CONSTRUCTION
(915) 887-7766

FOUNDATION	Sheet	A1.3
Date	MAY 19, 2000	
Scale	3/8" = 1'-0"	

NEW CARTPORT ADDITION FOR:
MRS. IRMA AMAYA
OWNER

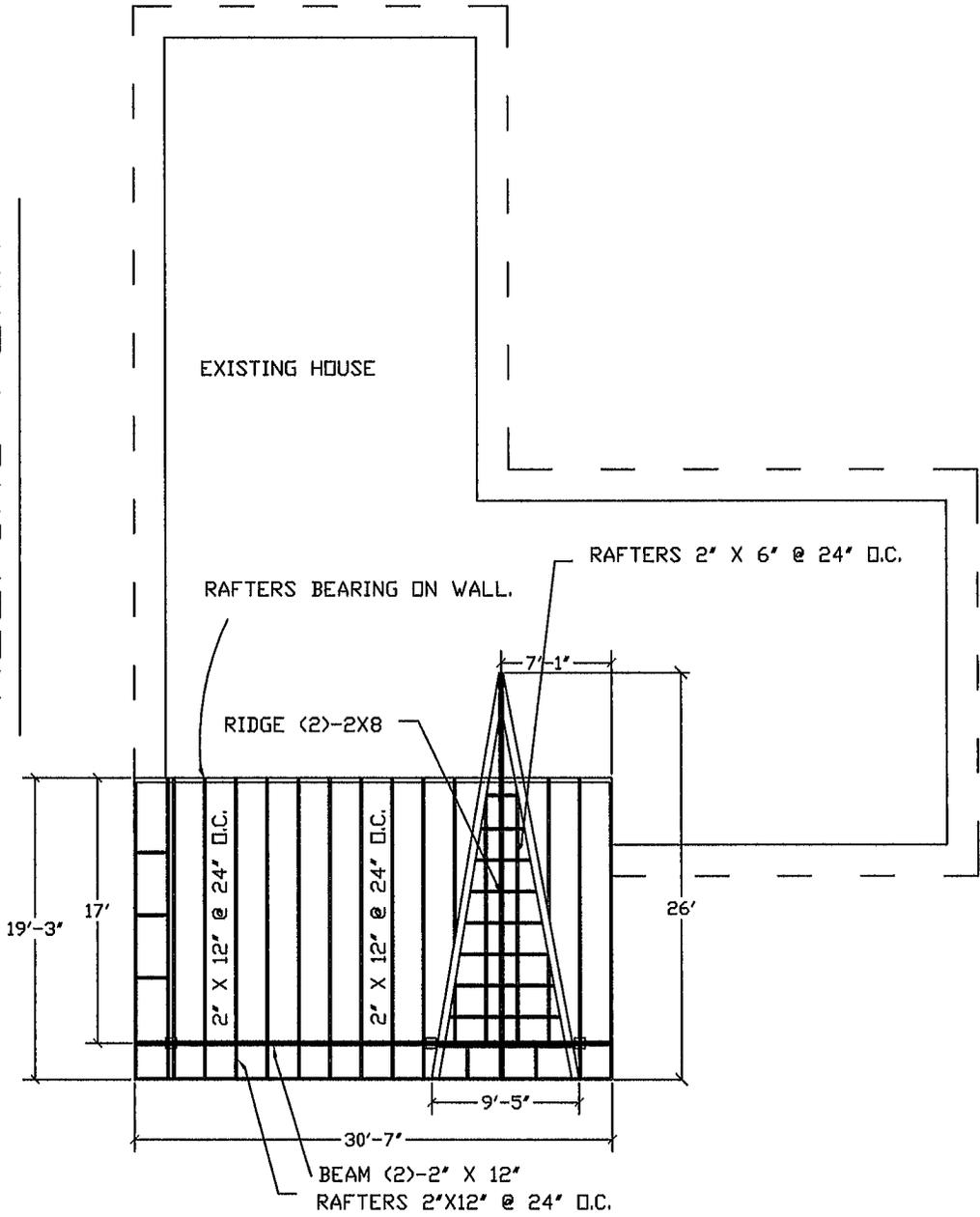
DRW	J. ANGEL RODRIGUEZ
Date	MAY 19, 2000
PS	A.P.J.

NEW CARTPORT ADDRESS AND
LEGAL DESCRIPTION
LITERS BLOCK- 245
VISTA DEL SOL UNIT- 46
REPLAT-"A"
1608 ROCK RHODES DRIVE
EL PASO, TEXAS

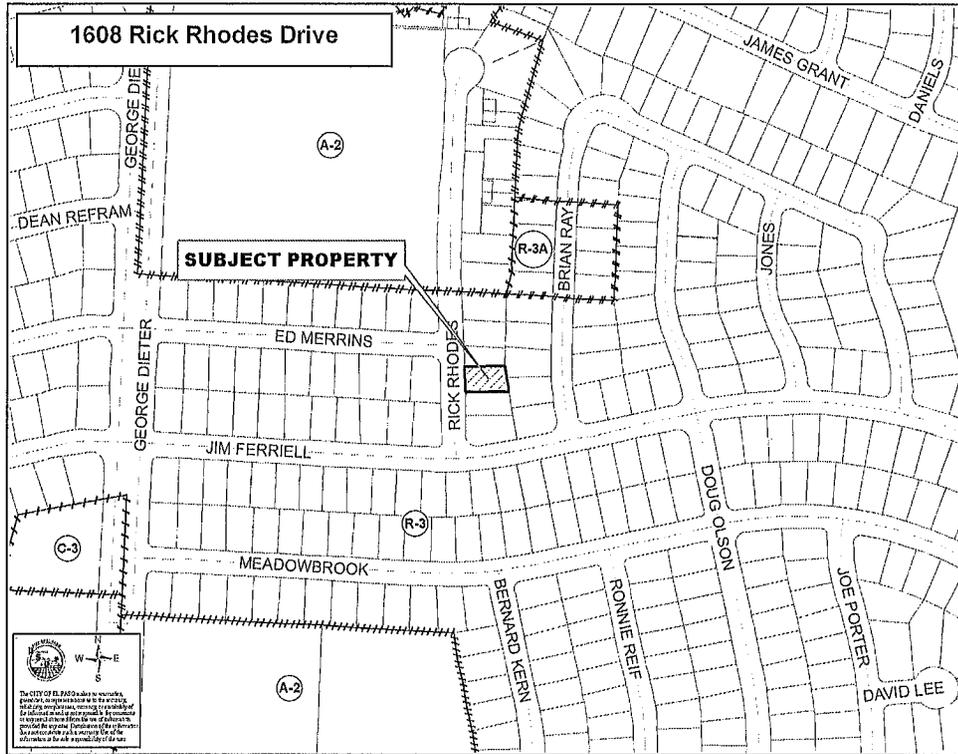
CONTRACTOR:
MR. MANUEL MENA
M & M
ROOFING AND CONSTRUCTION
(915) 887-7766

ROOFING PLAN	Scale
MAY 19, 2000	A1.5
Sheet	3/16" x 1'-0"

ROOFING PLAN



ZONING MAP



NOTIFICATION MAP

