

Applicant requests a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-3A (Residential) zone.

This would permit a 22' by 20.5' carport that is proposed to encroach into the front yard setback and to be located to within 1.5' feet of the front property line.

The required front and rear yard setback cumulative total is 45 feet in the R-3A zone district.

BACKGROUND

The applicant is requesting a carport that will match the existing house in materials and design. The proposed carport does not rise higher than the roof of the house. There is a utility easement at the front property line, and the applicant is required to obtain non-objection letters from the utility companies. The Engineering & Construction Management Department has reviewed the structural plans and provided a memorandum stating that the structural design has been found to be acceptable.

CALCULATIONS

Permitted carport area = 460 sq. ft. (2,300 sq. ft. first floor area ÷ 5)

Requested area of carport = 451 sq. ft. (22' x 20.5')

Required front yard setback = 15'

Requested front yard setback = 1.5'

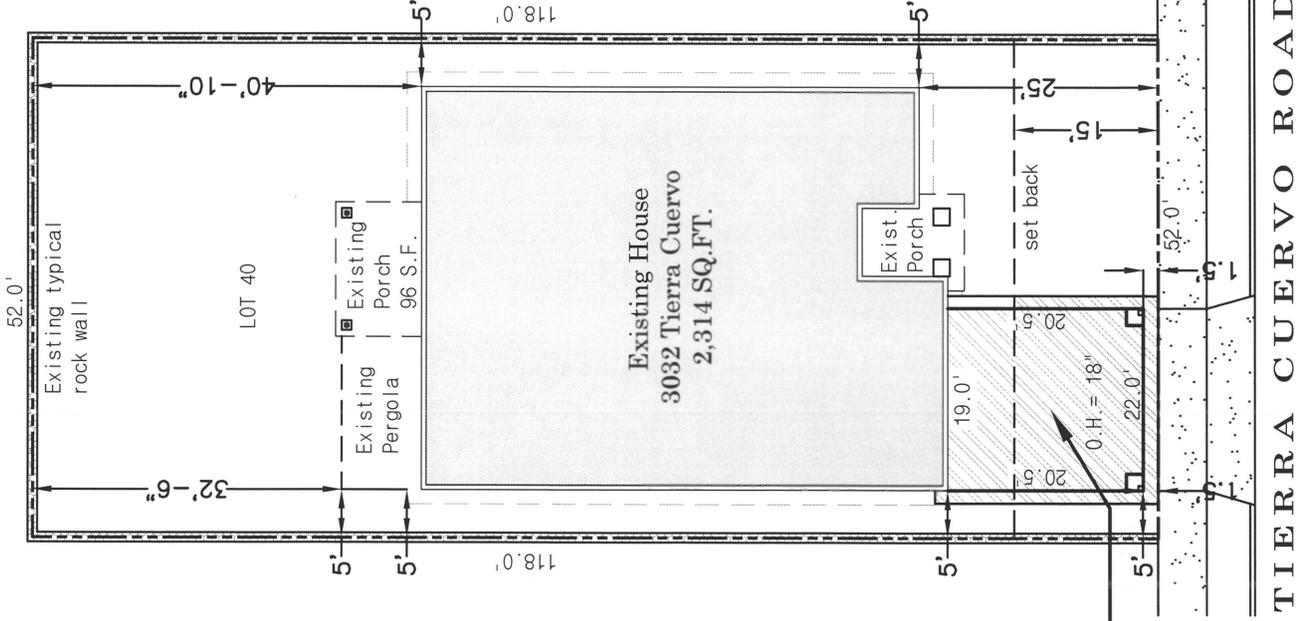
STAFF RECOMMENDATION

Staff recommendation is pending receipt of letters from the utility companies.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



LEGAL DESCRIPTION:
 70 TIERRA DEL ESTE #16
 LOT 40 (6300.00 SQ FT)

ZONING R-3A

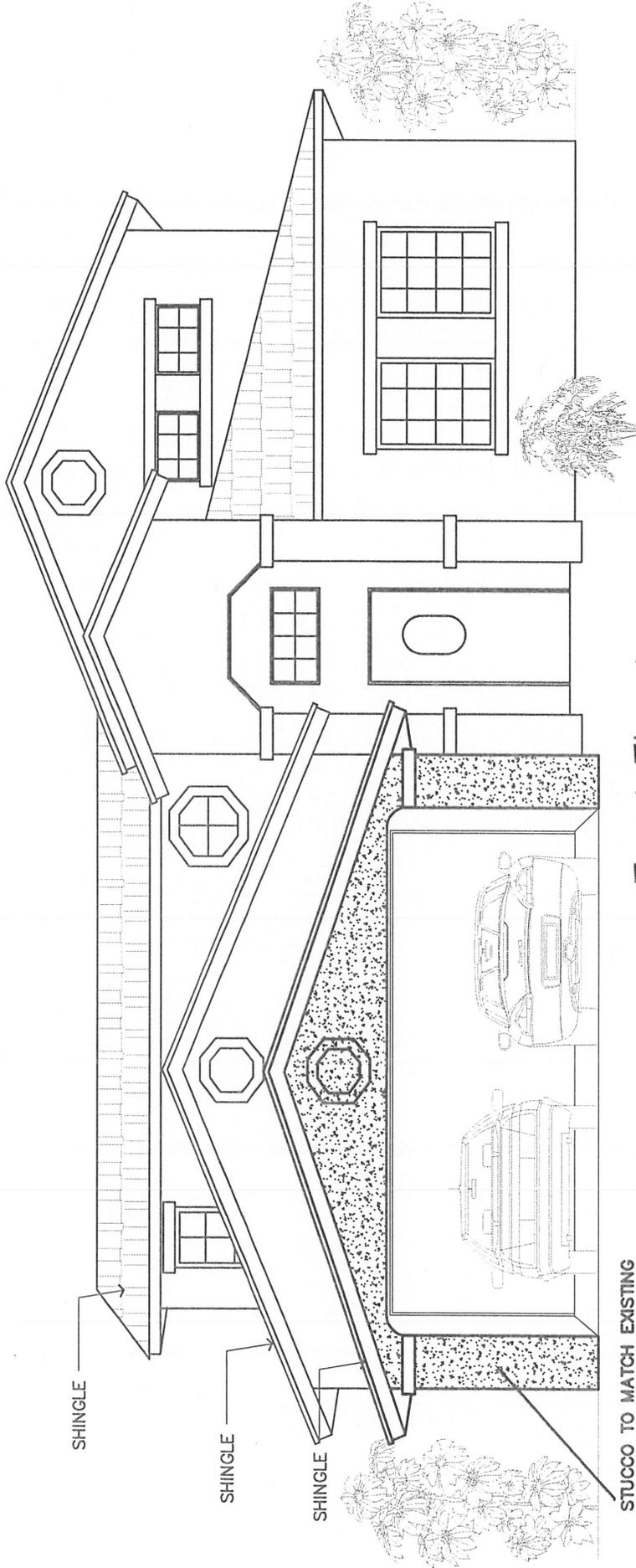
MC DANIEL VINCENT E
 3032 TIERRA CUERVO DR
 EL PASO, TX 79938-4758

PROPOSED FRONT CARPORT

TIERRA CUERVO ROAD

site plan

scale: 1" = 20'

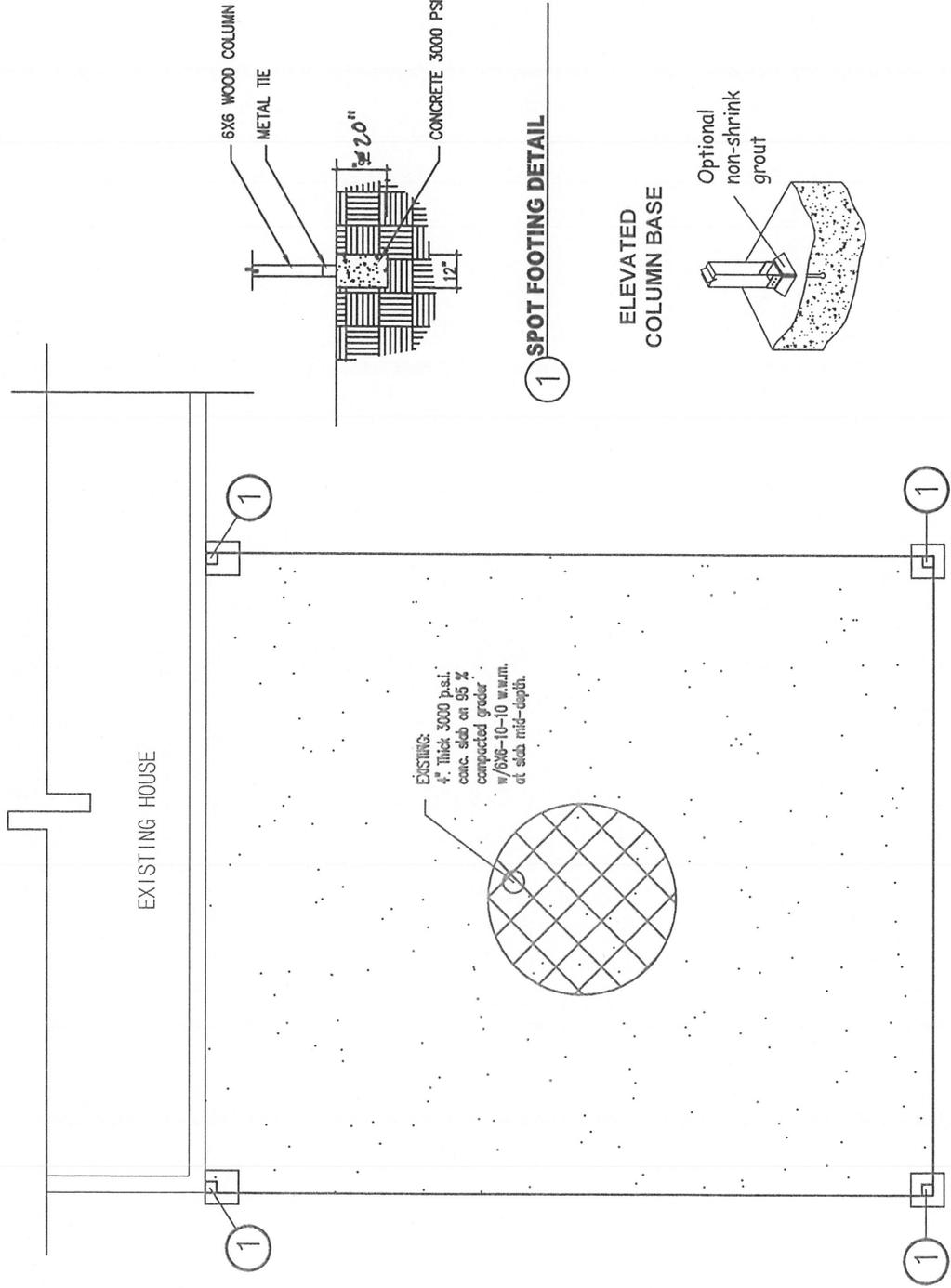


Front Elevation

MC DANIEL VINCENT E
 3032 TIERRA CUERVO DR
 EL PASO, TX 79938-4758

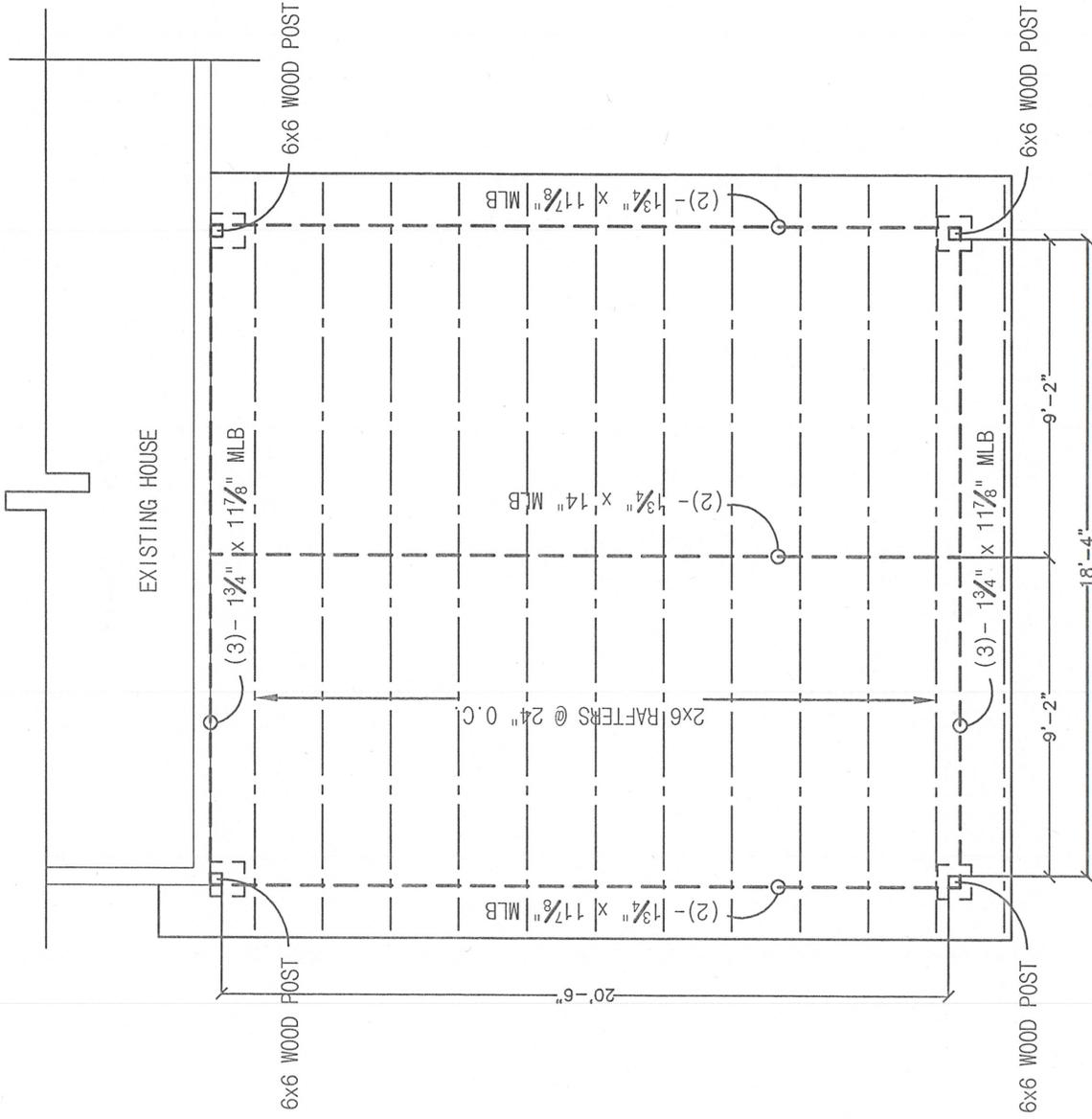
elevation plan

scale: 1/4" = 20'



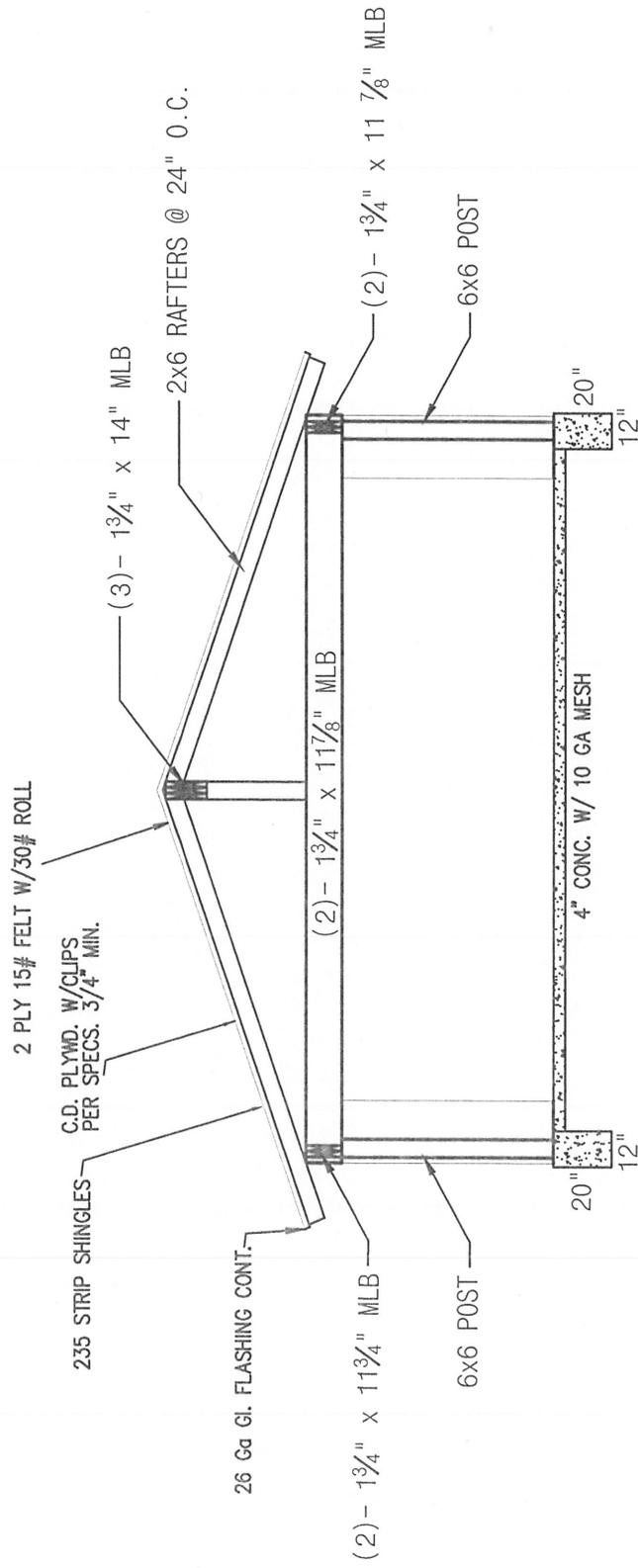
CASTANEDA ELIAS
 3132 TIERRA CUERVO DR
 EL PASO, TX 79938-4759

foundation plan
 scale: 3/16" = 1.0'



elevation plan
scale: 1/4" = 20'

MC DANIEL VINCENT E
3032 TIERRA CUERVO DR
EL PASO, TX 79938-4758



front elevation plan

scale: 3/16" = 1.0'

CASTANEDA ELIAS
3132 TIERRA CUERVO DR
EL PASO, TX 79938-4759



MEMORANDUM

TO: Zoning Board of Adjustment Staff

FROM: Juan Estala, Chief Plans Examiner, Building Permits and Inspections Division

SUBJECT: CARPORT CASE FOR August 8, 2011 ZBA MEETING

DATE: August 2, 2011

I have reviewed the plans for PZBA case 11-00025 located at 3032 Tierra Cuervo Drive. The applicant is requesting a Special K Exception under Title 2.16.050 for a carport over the driveway.

The carport's structural design has been reviewed and has been found to be acceptable

This letter is written pursuant to Title 2.16.050 K 2. And provides written approval for the carport design based upon structural design considerations from the Building Permits and Inspections Division of the Development Services Department.

Juan Estala

A handwritten signature in black ink, appearing to read "Juan Estala", written over a horizontal line.

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John F. Cook

City Council

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Ann Morgan Lilly

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Susannah M. Byrd

District 3
Emma Acosta

District 4
Carl L. Robinson

District 5
Rachel Quintana

District 6
Eddie Holguin Jr.

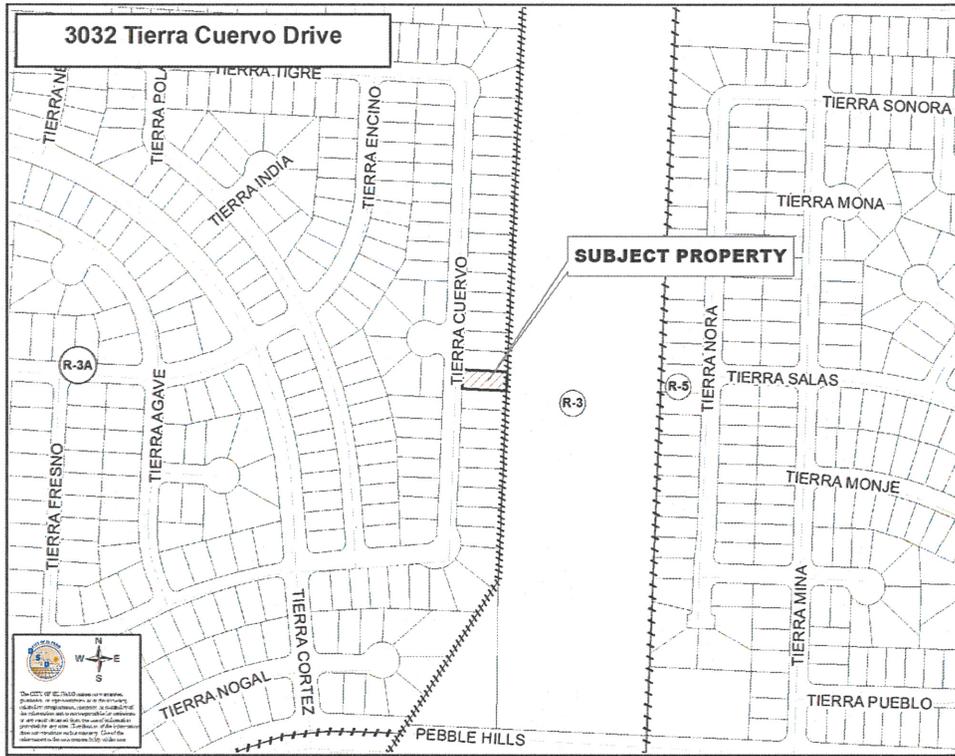
District 7
Steve Ortega

District 8
Beto O'Rourke

City Manager
Joyce A. Wilson



ZONING MAP



NOTIFICATION MAP

