

**Applicants request a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-4 (Residential) zone.**

The request is for a proposed 25' by 22'6" carport of which a 25' by 5' portion will encroach in the required front yard setback to within 5 feet of the front property line.

The required front yard setback and rear yard cumulative setback total is 45'.

**BACKGROUND**

The applicant is requesting a special exception for carport. The plans show a carport with shingles and brick that are proposed to match the existing house with a roof line that is lower than the existing house. There is no utility easement at the front property line.

**CALCULATIONS**

Permitted carport area = 412.4 sq. ft. (2,062 sq. ft. first floor area ÷ 5)

Carport area proposed to encroach in required front yard setback = 125 sq. ft. (25' x 5')

Required front yard setback = 10'

Requested front yard setback = 5'

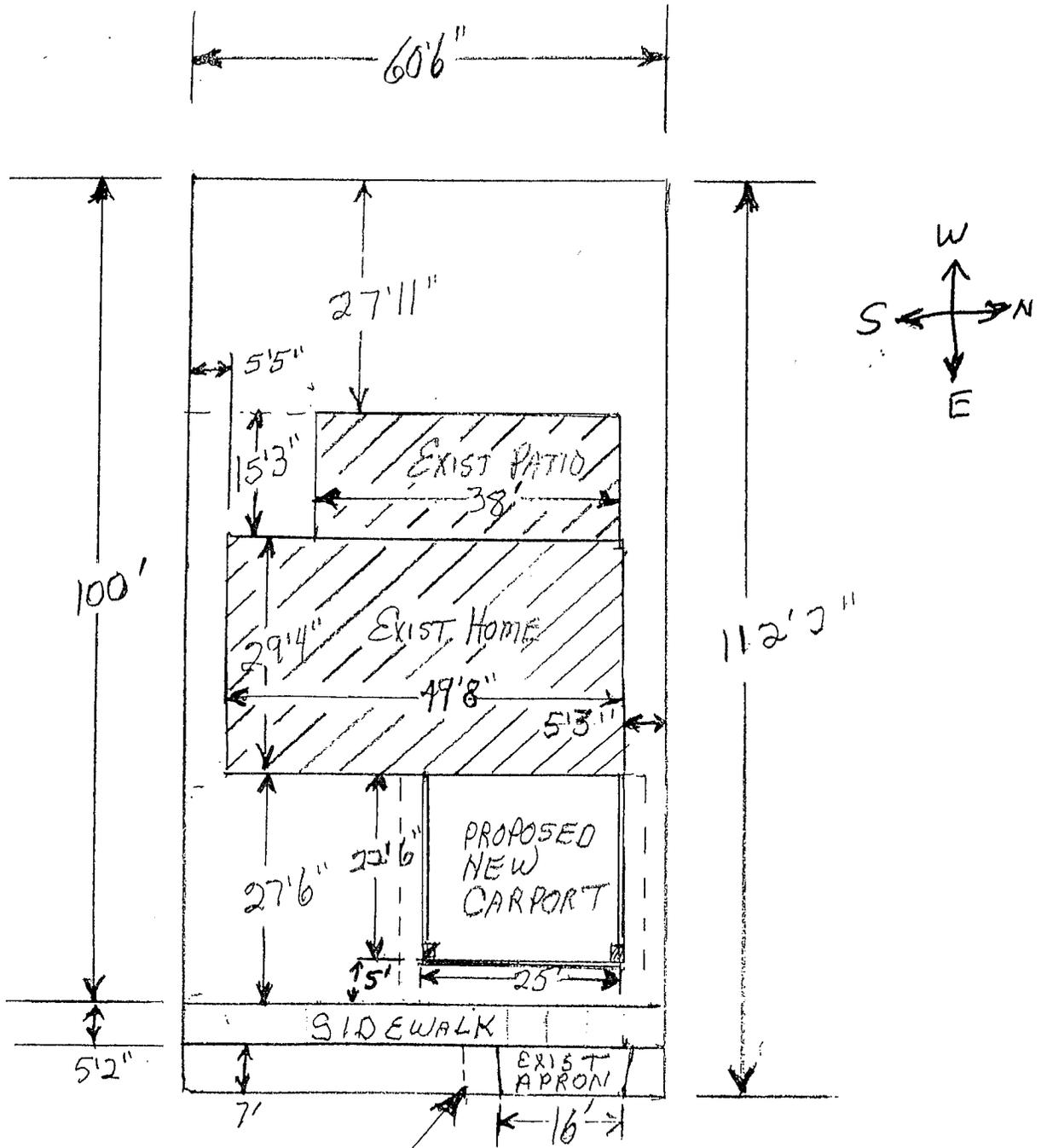
**STAFF RECOMMENDATION**

Staff recommends approval of request as it meets the requirements of the Special Exception K, pending receipt of the structural review by Building Permits & Inspections.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



NEW CURB CUT  
PROPOSE 4' EXTRA

PLOT / CURB

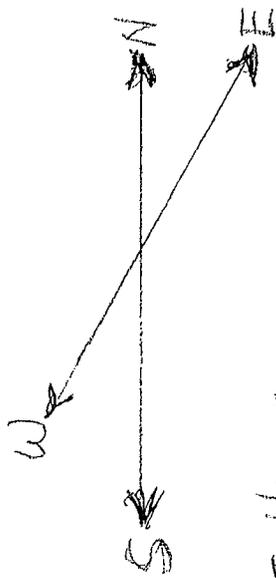
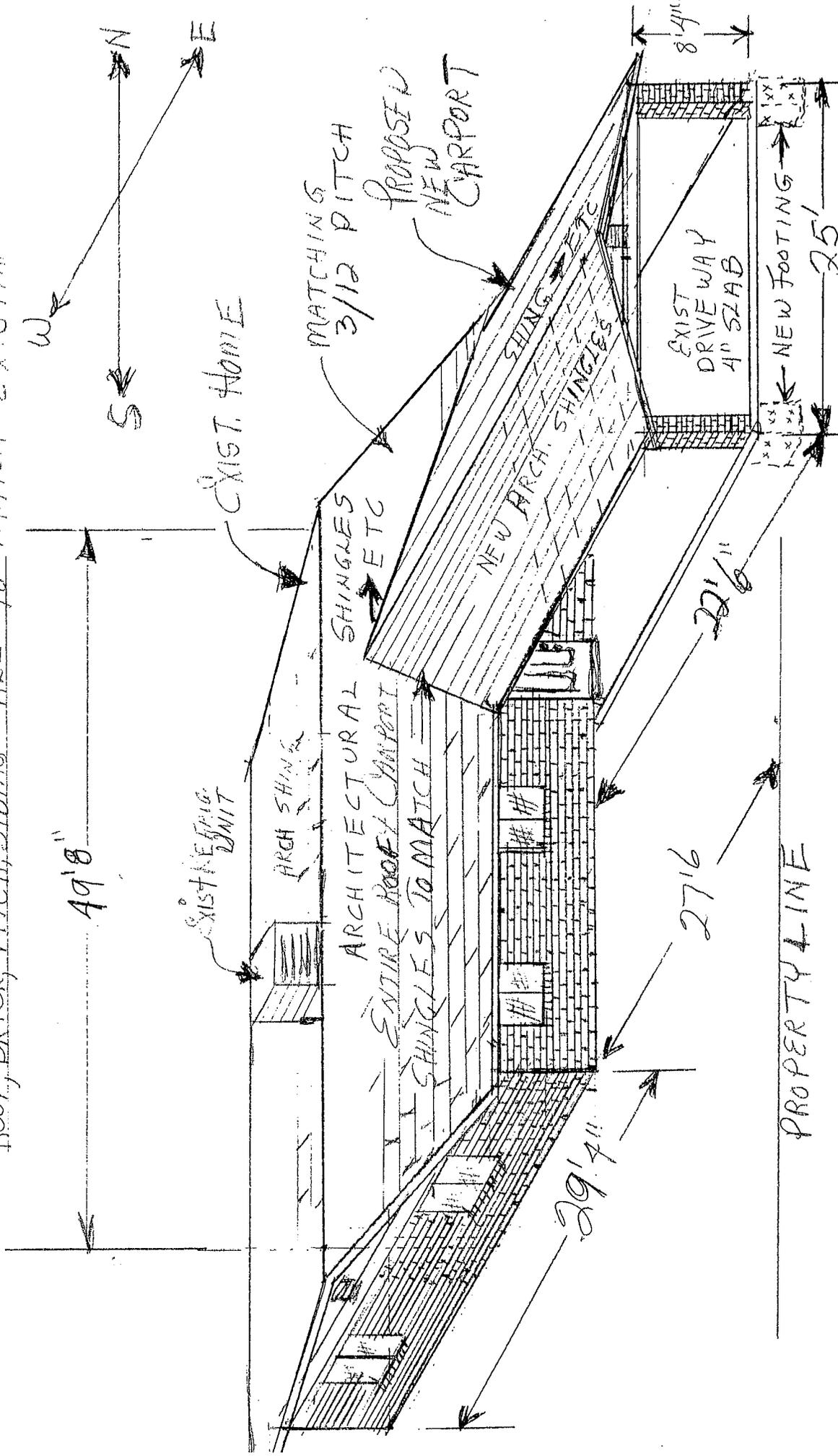
1" = 20'

M/R MRS TROY REISTER

10,305 REDWOOD ST, EPTX

(30°) 3 DIMENSIONAL VIEW LOOKING S.EAST TO N.WEST

22'6" X 26' CARPORT (24'6" X 30' WITH OVERHANG. (EAVE)  
ROOF, BRICK, PITCH, SIDING - ALL TO MATCH EXISTING



PROPOSED CARPORT FOR MRS. TRAY REISTER Sec. 10' = 10'

10305 REDWOOD ST. EL PASO TX 79924

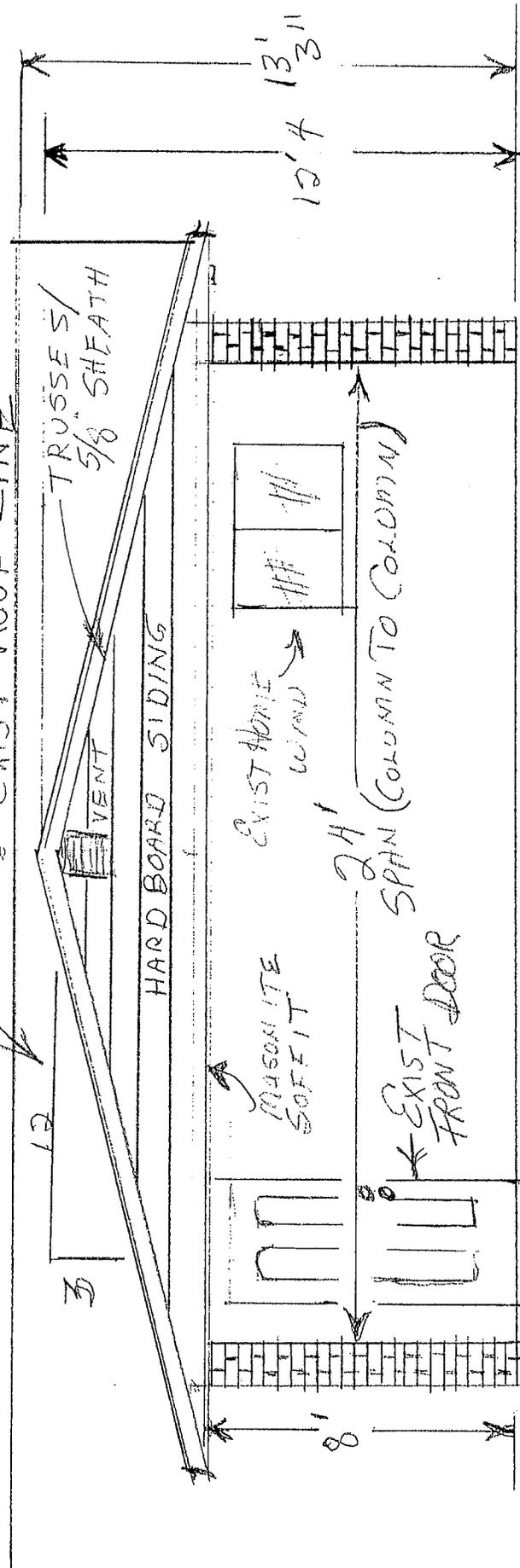
TEL. 203-2457

CONTR. & REF. ASTRO BUDRS (256-7578)

PROPOSED NEW CARPORT

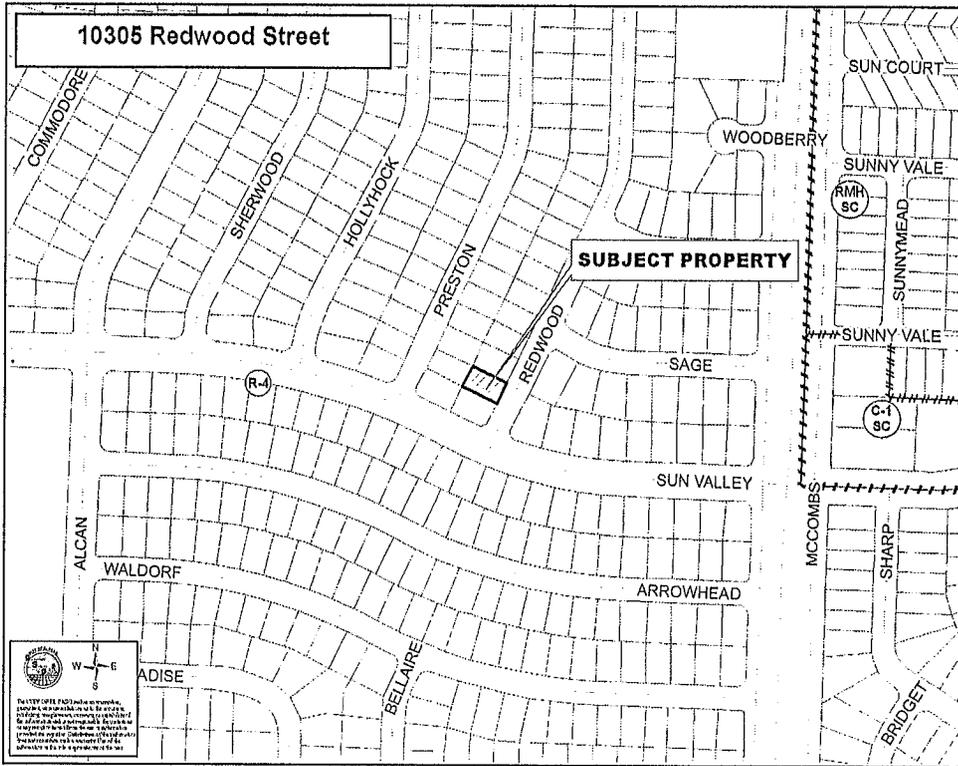
PITCH, SHINGE AND MATERIALS TO MATCH

= EXIST ROOF LINE



FRONT ELEVATION, LOOKING EAST WEST  
 SCAFF. 1" = 4', 19, 305 REDWOOD  
 FOR MR & MRS TROY REISTER - REP/BLOK - ASTRO BLDS

# ZONING MAP



# NOTIFICATION MAP

