

Applicant requests Special Exceptions under Section 2.16.050 C (Rear Yard Setback) and Special Exception J (Carport over a Driveway) in an R-3 (Residential) zone.

This would allow an existing 19' by 22'3" addition of which a 19' by 4'8" (90 square feet) portion encroaches into the required rear yard setback and is located to within 18' of the rear property line. Further, this would allow a 23'4" by 19' portion (443 square feet) of an existing carport which is located to within 8 feet of the front property line.

The required cumulative front and rear yard setback total in the R-3 zone district is 50 feet.

BACKGROUND

The applicant was cited for building without permits and is requesting to legalize an addition which encroaches in the rear yard setback and a portion of the carport which is encroaching in the front yard setback. The site plan shows that approximately a 15' by 19' portion of the carport will be removed. The applicant is requesting to keep 413 square feet of the carport, approximately 52 square feet more than the permitted 361 square feet, keeping the roof and two existing columns. The carport matches the house in materials, but the carport roof does not match the house roof design. Building Permits & Inspections has reviewed the structural drawings for the carport and has failed the plans.

CALCULATIONS

Permitted area of encroachment in required rear yard setback = 280.56 sq. ft. (20.33' [61' lot width ÷ 3] x 13.80' [3/5 of 23'])

Requested area of encroachment = 90 sq. ft. (19' x 4'8")

Required rear yard setback = 23'

Requested rear yard setback total = 18'

Permitted carport area = 361 sq. ft. (1,807 sq. ft. ÷ 5)

Requested area of carport = 413 sq. ft. (21.74' x 19')

Required front and rear yard setback total = 50'

Requested front and rear yard cumulative setback = 26'

STAFF RECOMMENDATION

Staff recommendation is for postponement of the case to allow the applicant to submit plans that meet the requirements of the Special Exceptions C and J.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

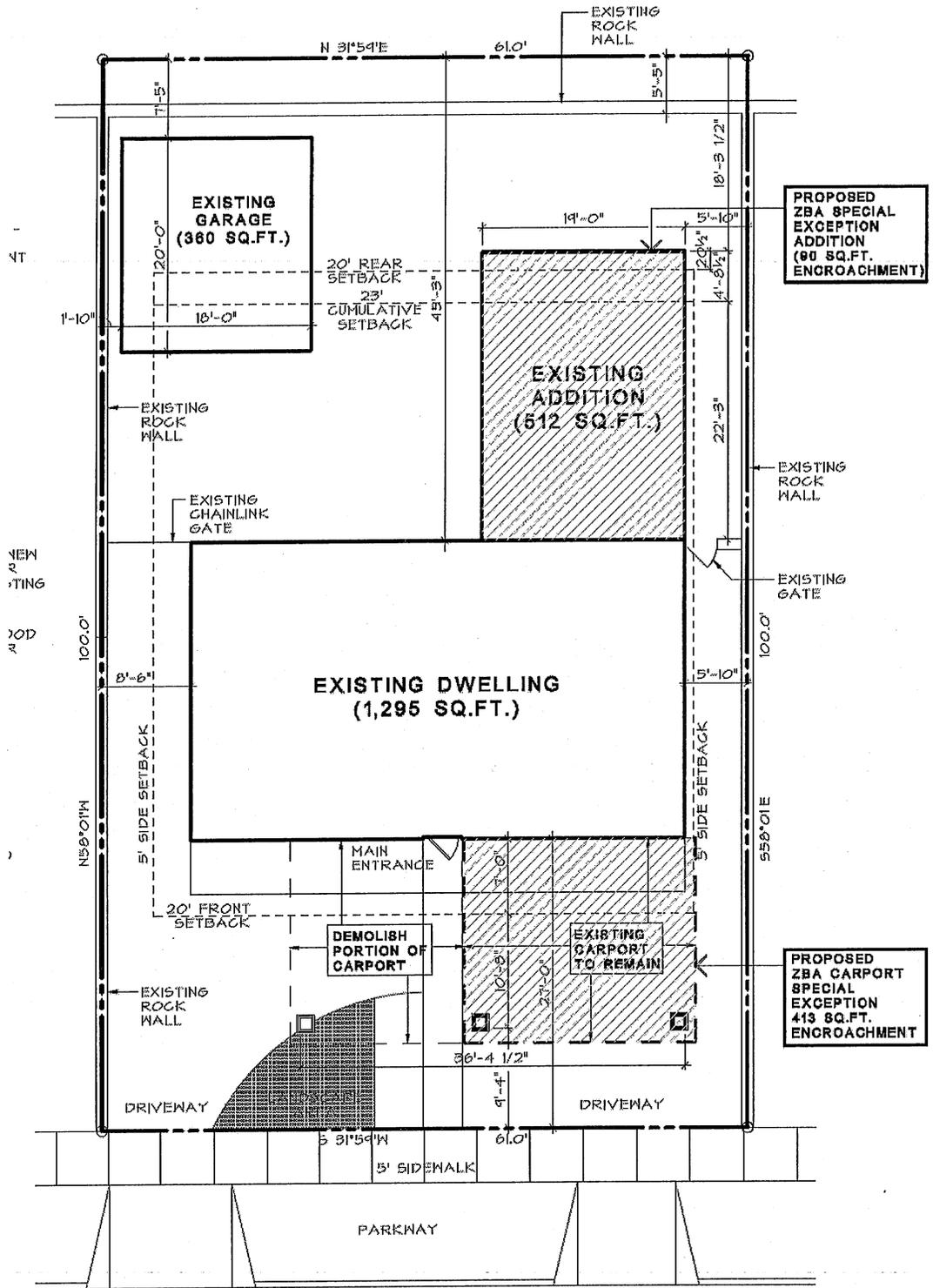
"Permit an extension of a single-family residential structure into the required rear yard setback, which shall be measured to the rear property line; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The maximum square footage allowed shall not exceed the result of multiplying one-third of the average width of the lot by three-fifths of the required rear yard setback;
3. A minimum ten-foot rear yard setback shall be required;
4. The minimum side and side street yard setbacks shall not be reduced; and
5. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space."

The Zoning Board of Adjustment is empowered under Section 2.16.050 J to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The zoning board of adjustment has received the written approval of the structural design from the building official;
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, shall be open on three sides, shall be attached to the main structure and shall rise no higher than the highest point of the roof of the dwelling;
4. The area of the carport shall not exceed one-fifth of the first-floor area under roof of the dwelling, with the first-floor area of the dwelling defined as the sum of the gross horizontal area, exclusive of garages, atriums, stairwells, and open porches, measured from the exterior faces of the exterior walls; and, shall be measured as the area covered by the carport roof, to include overhangs;
5. Elevation drawings of the proposed structure shall be submitted;
6. For a duplex, the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit;
7. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
8. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space."



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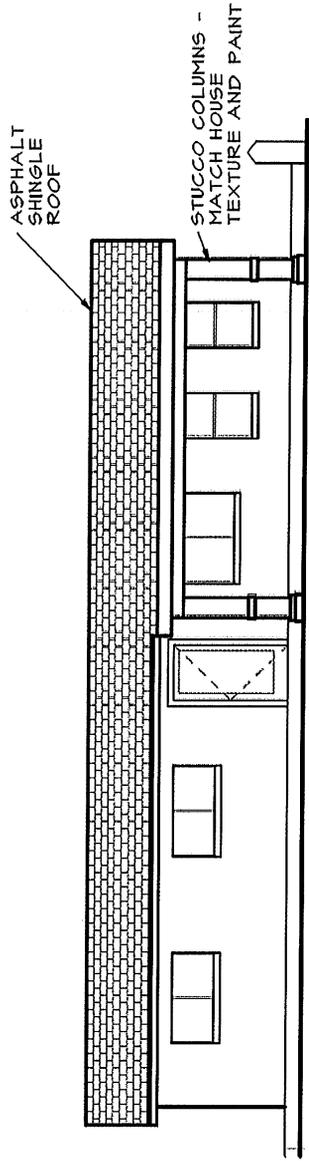
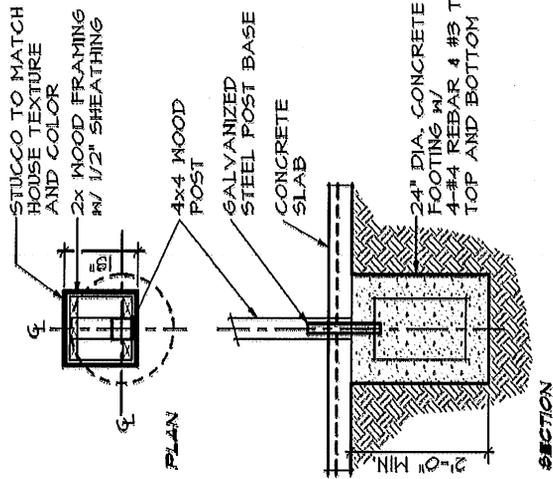
ROSWELL RD.
(60' R.O.W.)

SITE PLAN

1" = 10.0'

LEGAL DESCRIPTION:
51 RANCHLAND HILLS #5,
LOT 18
CITY OF EL PASO, TEXAS
COUNTY OF EL PASO

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FOOTING DETAIL

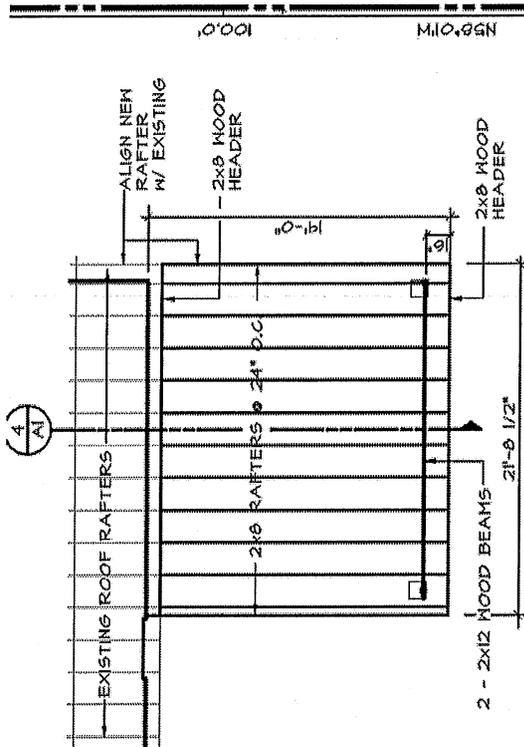
1/2" = 1'-0"

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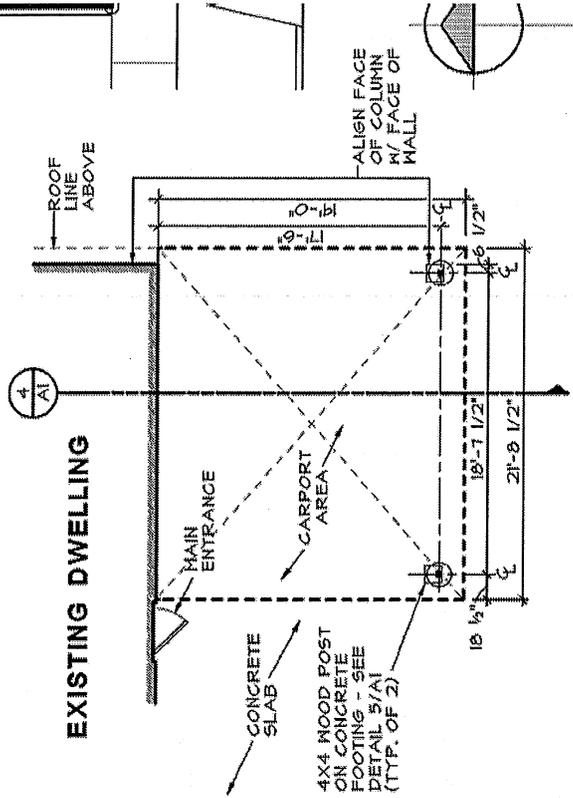
FRONT ELEVATION

1/8" = 1'-0"



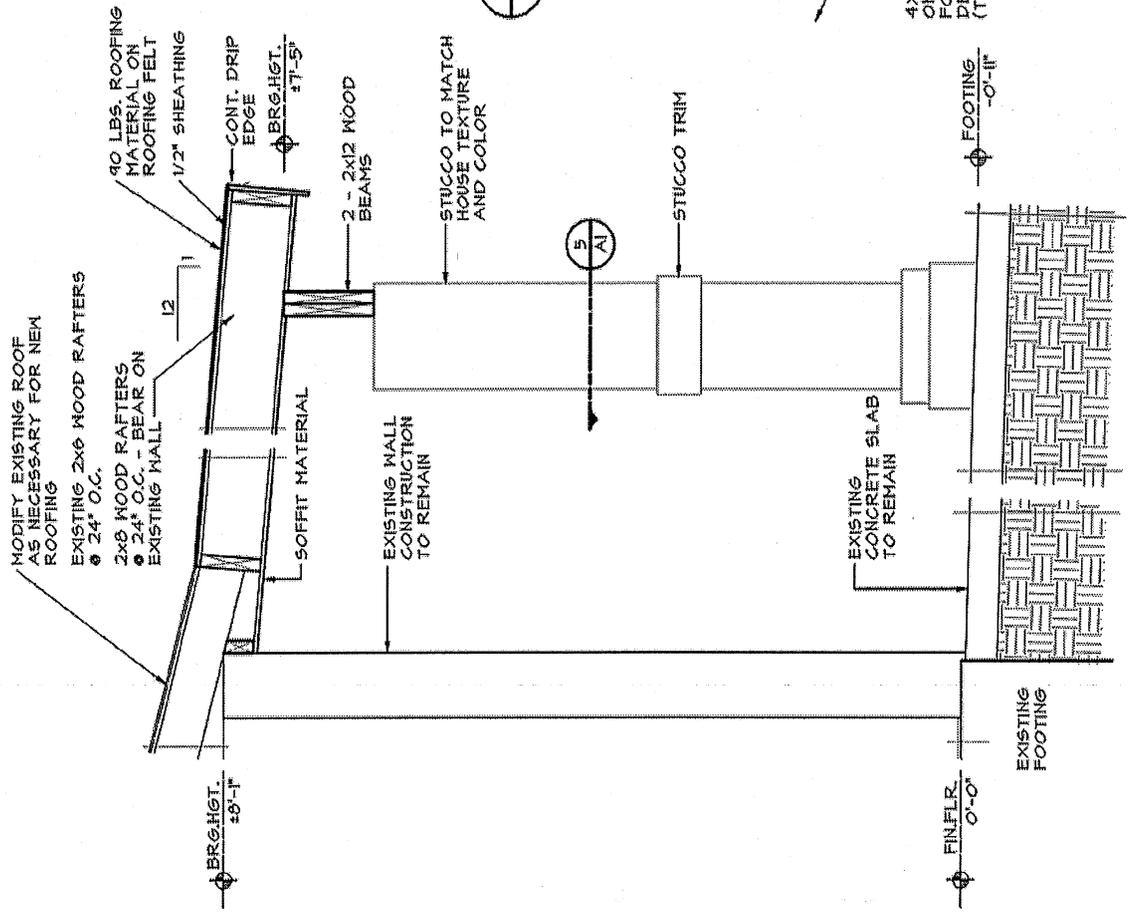
ROOF FRAMING PLAN

1/8" = 1'-0"



FOUNDATION PLAN

1/8" = 1'-0"

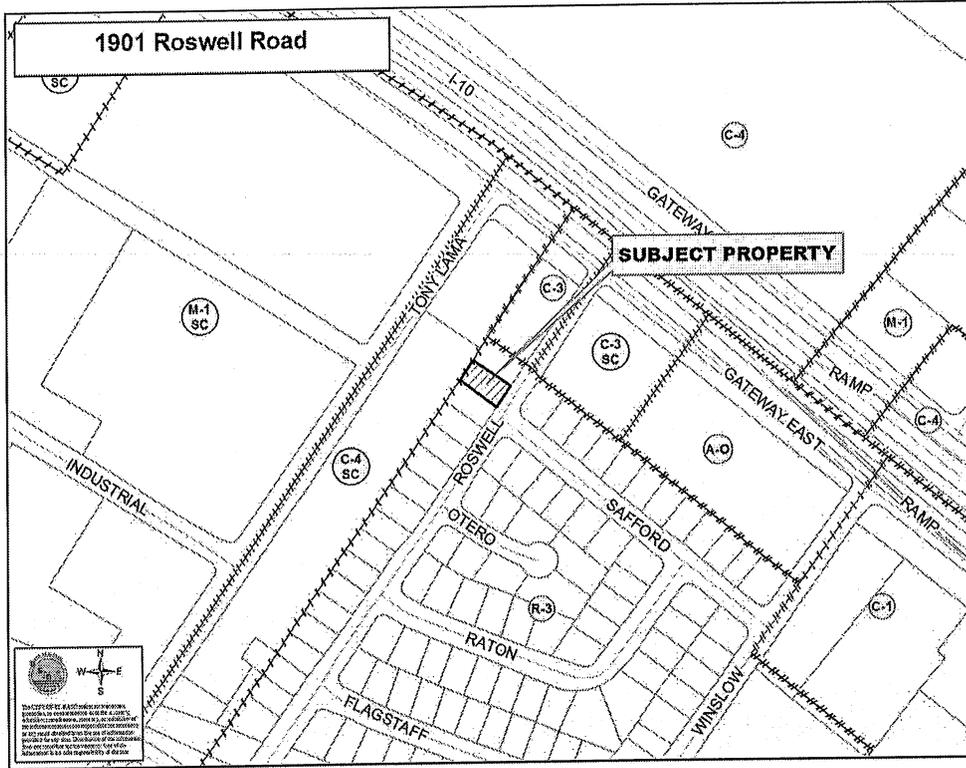


SECTION

5/8" = 1'-0"

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ZONING MAP



NOTIFICATION MAP

