

Applicant requests a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-4 (Residential) zone.

This would permit carport of which approximately 275 square feet is proposed to encroach into the required rear yard setback and to be located to within 17 feet of the rear property line.

The required front and rear yard cumulative setback total is 45 feet in the R-4 zone district.

BACKGROUND

The applicant started building an addition without permit that encroaches into the required rear yard setback. The applicant is required to apply for the special exception to encroach into the required rear yard setback. A site visit shows that the addition is closer to the rear property than the 17 feet distance indicated on the site plan. The applicant's representative has been requested to provide a revised site plan.

CALCULATIONS

Permitted square feet encroachment in required rear yard = 450 sq. ft. (30' [90' average lot width ÷3] x 15' [3/5 of 25.3'])

Requested square feet encroachment in required rear yard = ~275 sq. ft. (25' x 11')

Requested rear yard setback = 17'

Required front and rear yard cumulative setback = 45'

STAFF RECOMMENDATION

Staff recommendation is pending submittal of revised site plan.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

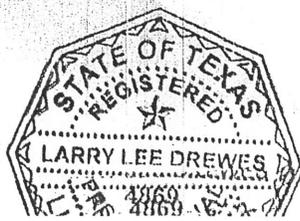
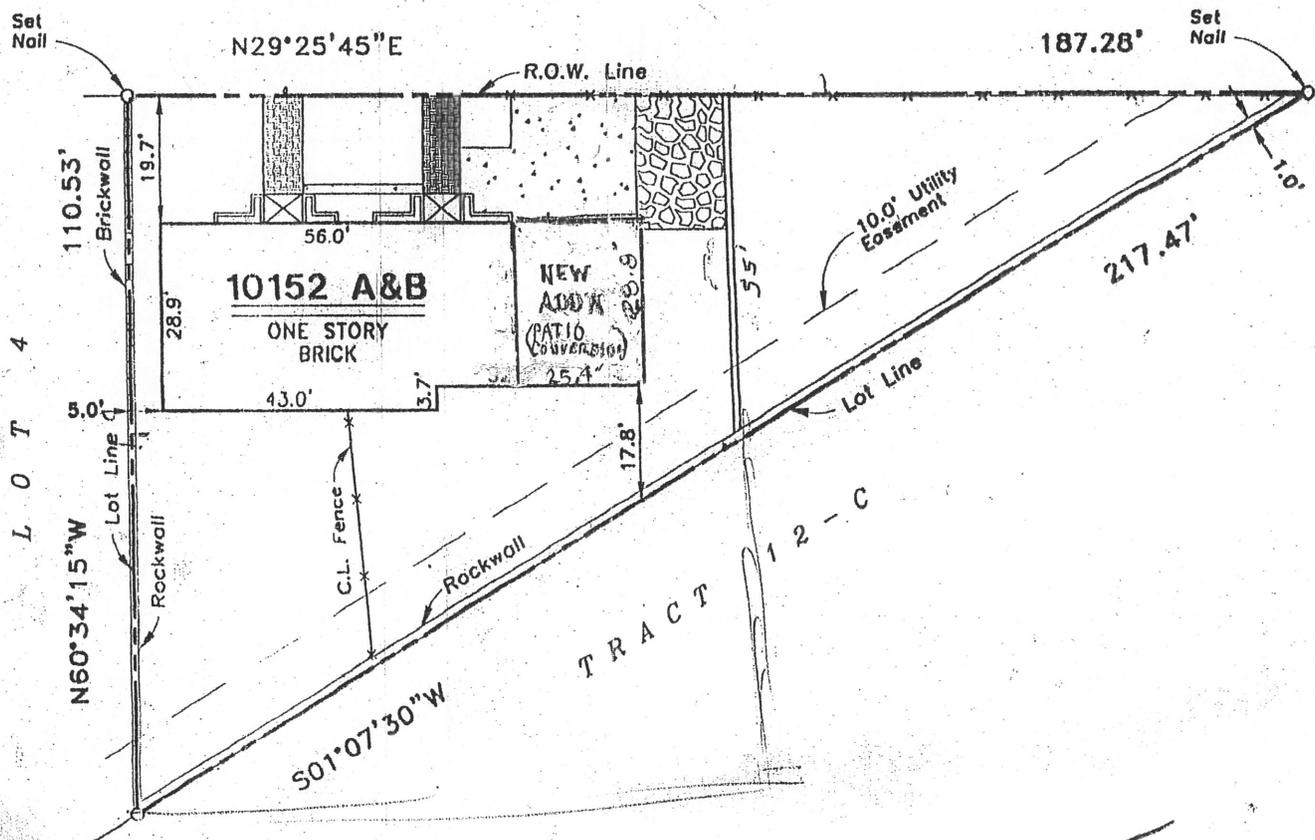
“Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. The total width of all extensions granted shall not exceed one-third of the average width of the site; and,
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit.

FLOOD CERTIFICATE: ACCORDING TO FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 480214 0020B, EFFECTIVE DATE: OCTOBER 15, 1982 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PARCEL LIES WITHIN A ZONE DESIGNATION OF "C", WHICH INDICATES THAT THIS PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA.

PHEASANT DRIVE

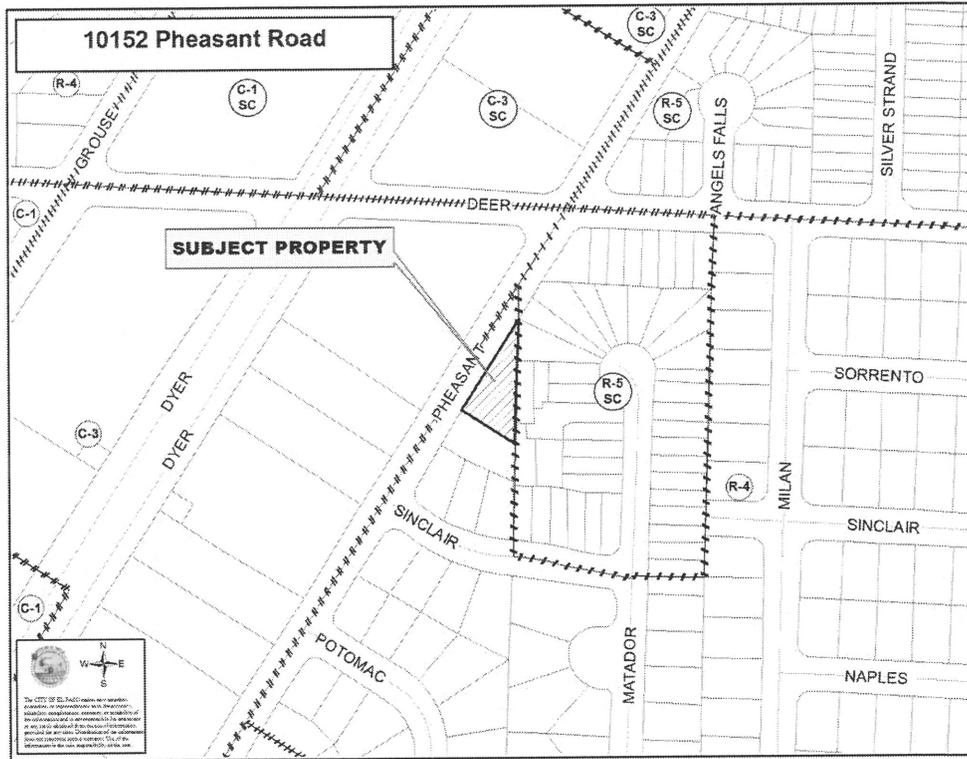
(60.0' R. O. W.)



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ZONING MAP



NOTIFICATION MAP

