

Applicant requests a Special Exception from Section 2.16.050 K (Carport over a Driveway) in an R-3 zone.

This would permit the construction of a 14' by 22' carport that is proposed to be located to within 2 feet of the front property line.

The required cumulative front and rear yard setback total is 50' in an R-3 (Light Density Residential) zone.

BACKGROUND

The applicants are requesting to construct a carport over a driveway. The driveway is located within the 20' visibility triangle at the intersection of Clearwater and Wadsworth streets. The Engineering-Traffic Division has reviewed the site and notes that they will approve the driveway if the supporting columns are not "too big." The columns are approximately 15" square. There are no utility easements located at the front of the property. The Building Permits & Inspections Division has reviewed the structural plans and notes that the plans are acceptable.

CALCULATIONS

Permitted carport area = 351 sq. ft. (First floor area under roof = 1,756 ÷ 5 = 351 sq. ft.)

Requested carport area = 308 sq. ft. (14' x 22')

Required front yard setback = 25'

Requested front yard setback = 2'

STAFF RECOMMENDATION

Staff recommends **Approval** of the Special Exception K as the request meets the requirements of the Special Exception as submitted.

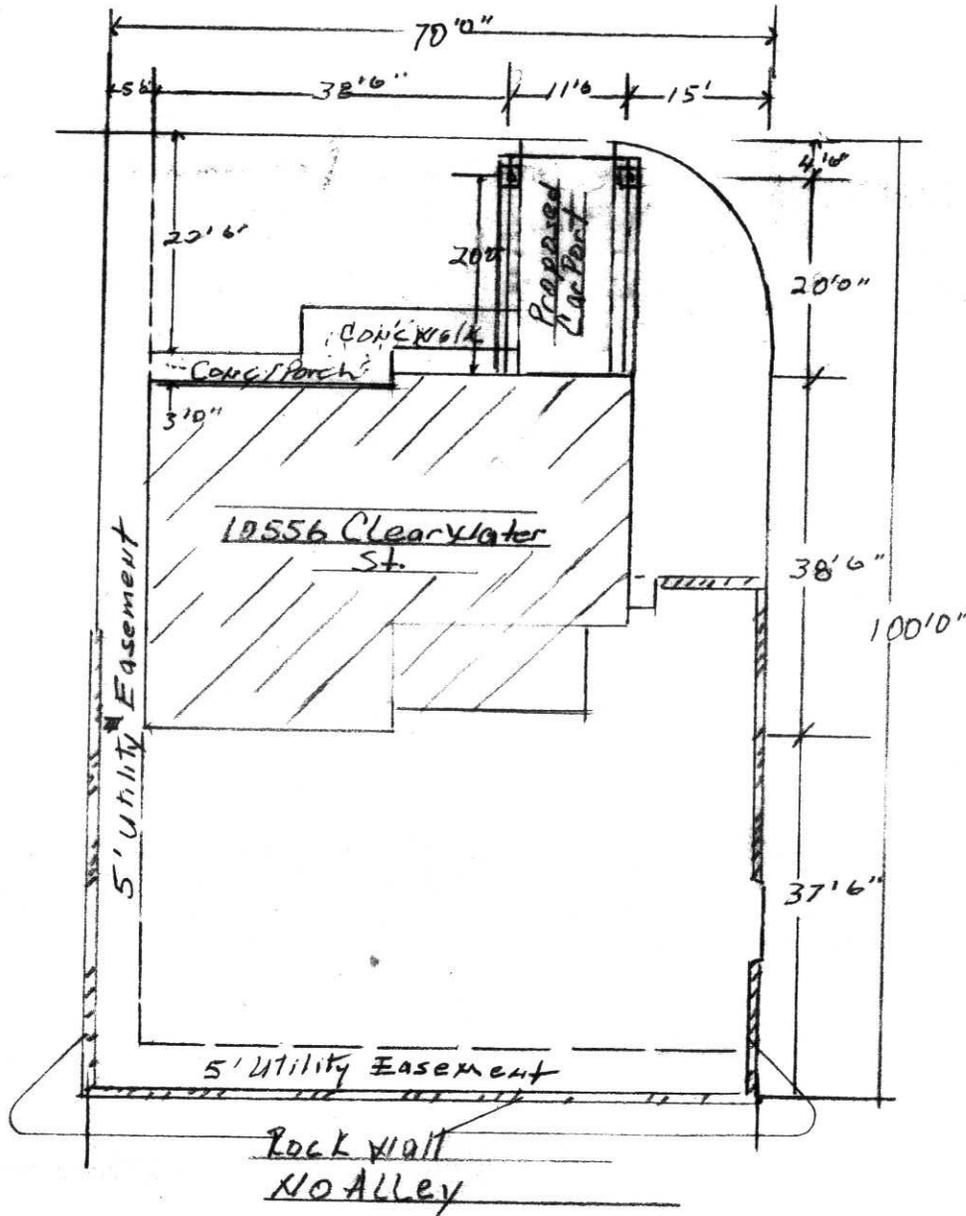
The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling; and,
10. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought; and,
11. The public convenience and welfare will be substantially served; and,
12. The use of neighboring property will not be substantially injured; and,
13. Include any conditions and safeguards which the Board deems appropriate, such as site arrangement, landscaping and hours of operation."

CL Clearwater St.

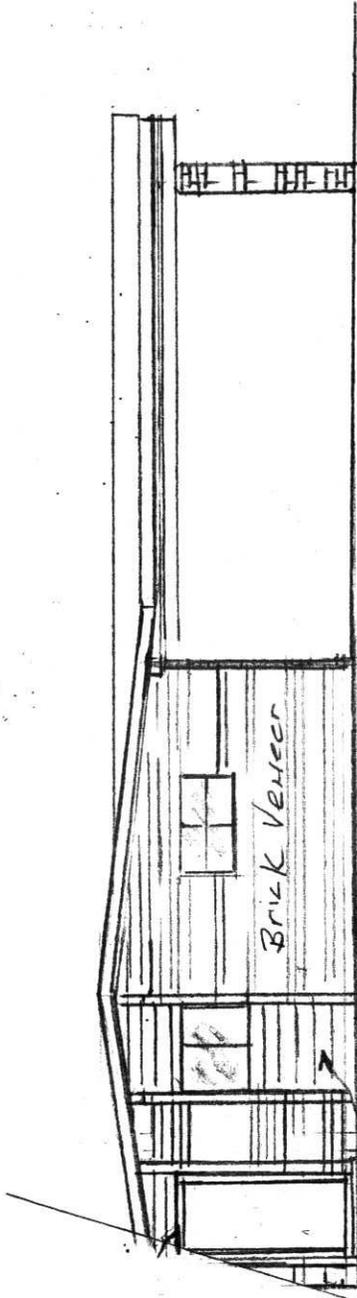
CL Wadsworth Ave.



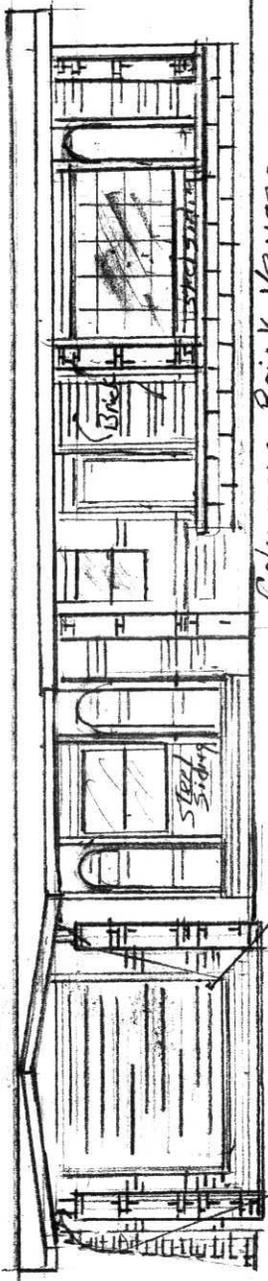
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Plot Plan
Scale 1"=20'

Lot # 9
Block # 3
Temple Hills



Steel Siding
Side Elevation



Steel Siding
Front Elevation

Columns Brick Veneer
Design Phase

10556 Clearwater

SCALE: $\frac{1}{8}'' = 1'-0''$

DATE:

APPROVED BY:

DRAWN BY AD

REVISED

Note: This Plan is Subject to modification
by Building or Local Codes

DRAWING NUMBER

Existing Dwelling
12556 Clearwater

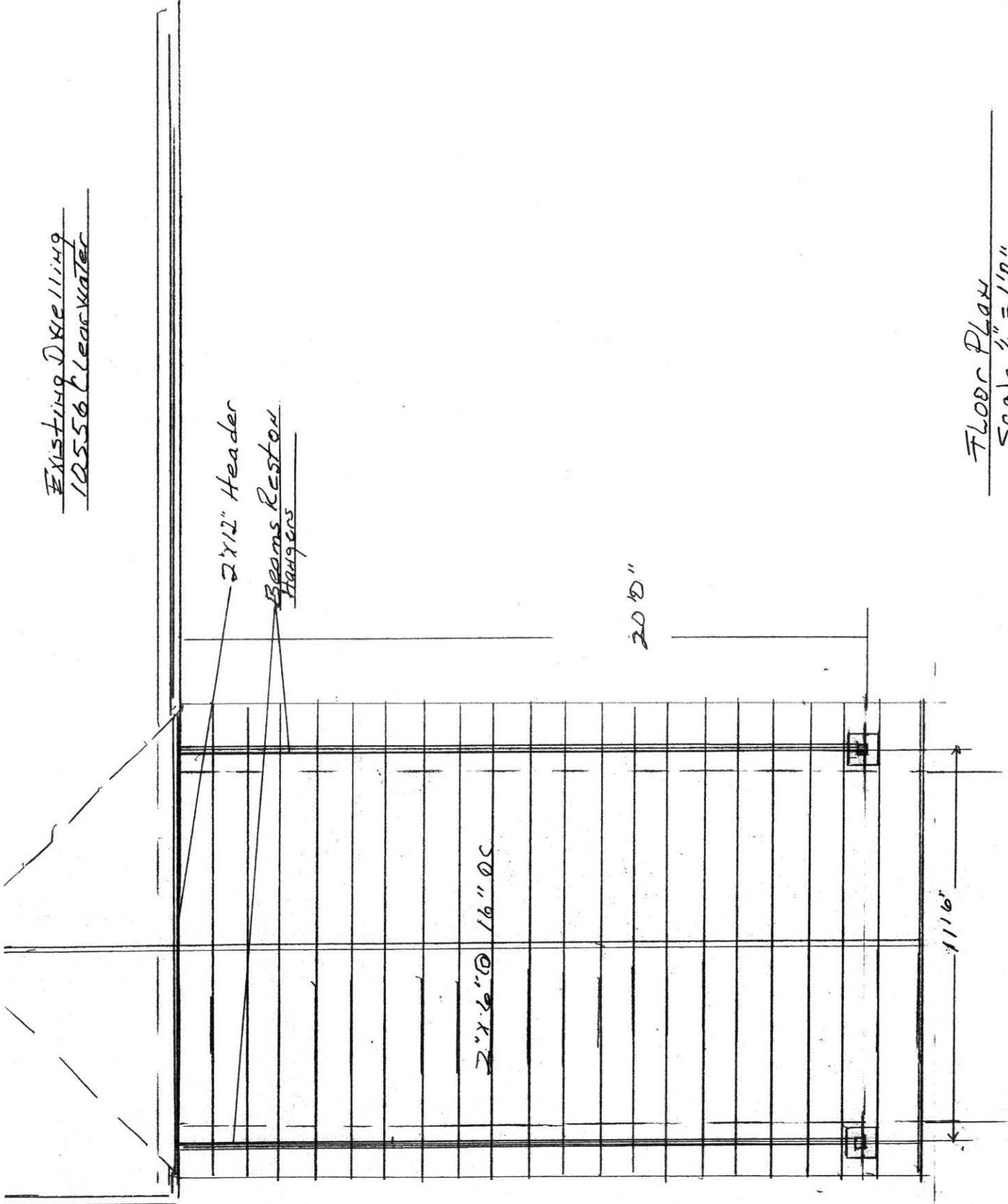
2x12 Header
Beams Rest on
Hangers

20'0"

2x6 @ 16" OC

11'6"

Floor Plan
Scale 1/4" = 1'0"



JOHN COOK
MAYOR



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CITY MANAGER

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DIRECTOR

DEVELOPMENT SERVICES DEPARTMENT

To: Zoning Board of Adjustments Staff

From: Michael Neligh, Senior Plans Examiner, Building Permits & Inspections

Date: September 2, 2008

Subject: Carport Case for September 8, 2008 Zoning Board of Adjustments Meeting

I have reviewed the plans for ZBA Case #ZBA08-00071, located at 10556 Clearwater St. The applicant is requesting a Special K Exception under Title 2.16.050 for a carport over the driveway.

The carport's structural design has been reviewed and has been found to be acceptable.

This letter is written pursuant to Title 2.16.050.5 and provides written approval for the carport design based upon structural design considerations from the Building Permits and Inspections Section of Development Services.

JOHN COOK
MAYOR



JOYCE WILSON
CITY MANAGER

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ENGINEERING DEPARTMENT

CITY OF EL PASO

TO: Linda Castle, ZBA
Robert Peña, ZBA Secretary

FROM Margarita Molina, Traffic Engineering Division

DATE: August 22, 2008

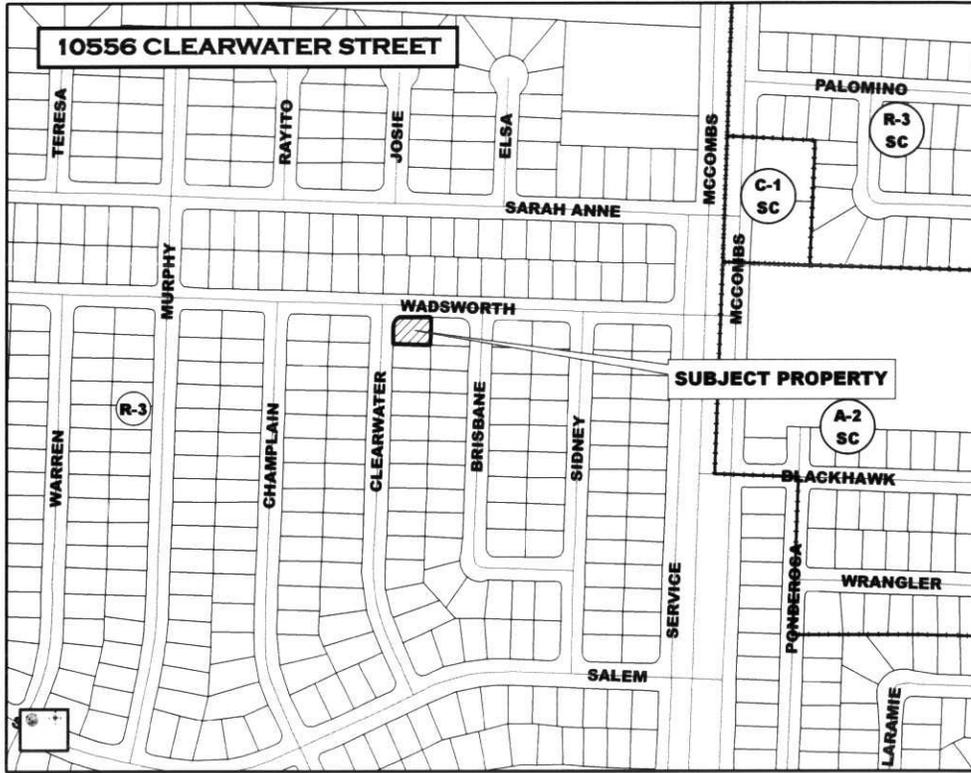
SUBJECT: **ZBA08-00071 Clearwater and Wadsworth, Revised**
Carport over driveway

Regarding the above referenced item, for the Zoning Board of Adjustment, the Traffic Division has the following comments.

- ***Traffic Division does not object to proposed carport.***

Should your office or the applicant have any questions or comments regarding these issues, please contact Margarita Molina at 541-4223.

ZONING MAP



NOTIFICATION MAP

