

Applicant requests a Special Exception from Section 20.16.050 C (Rear Yard Setback) in an R-3 zone.

This would permit the construction of a porch of which a 23.3' by 9' portion is proposed to encroach more than the 180 square feet of porch permitted in the rear yard setback.

The required cumulative front and rear yard setback total is 50 feet in an R-3 (Light Density Residential) zone.

BACKGROUND

The applicant is proposing to construct a porch of which a 29.5' by 15' portion is encroaching into the required rear yard setback. The property owner has an accessory building that is also encroaching into the required side yard setback. The accessory building does not exceed the 180 square feet that are permitted. The maximum width permitted based on the average lot width requirements is 23.33'. The applicant will have to revise the plans to show the reduction.

CALCULATIONS

1/3 average lot width = 23.33" (70' ÷ 3)

Requested width of encroachment = 29'6"

Required front yard setback = 25'

Requested front yard setback = 22'

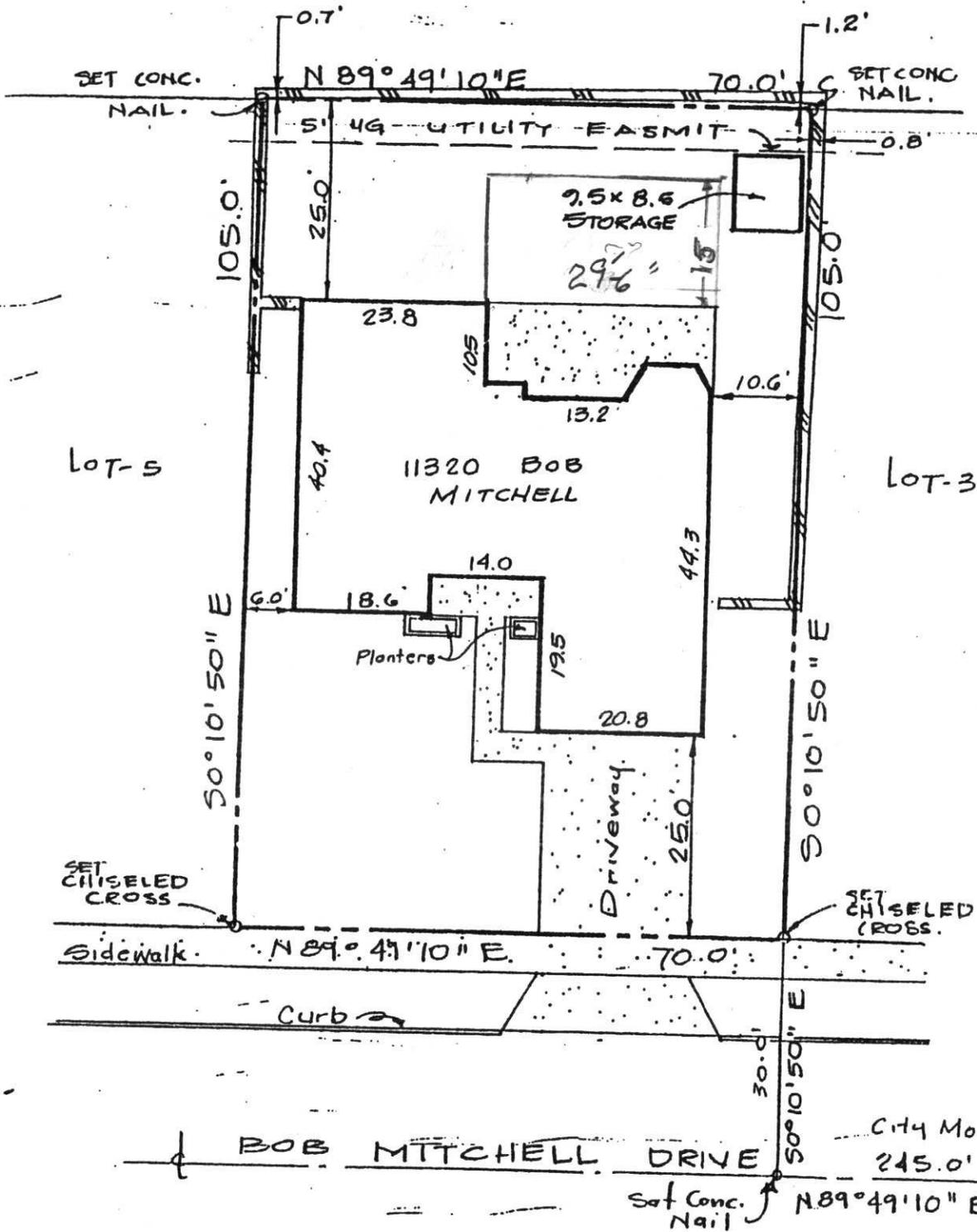
STAFF RECOMMENDATION

Staff recommends **Approval** of the Special Exception C with the condition that the accessory building be relocated to 5' from the side property line and 5' from the main structure, and that the width of the proposed addition is not to exceed 23.3'.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

"Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

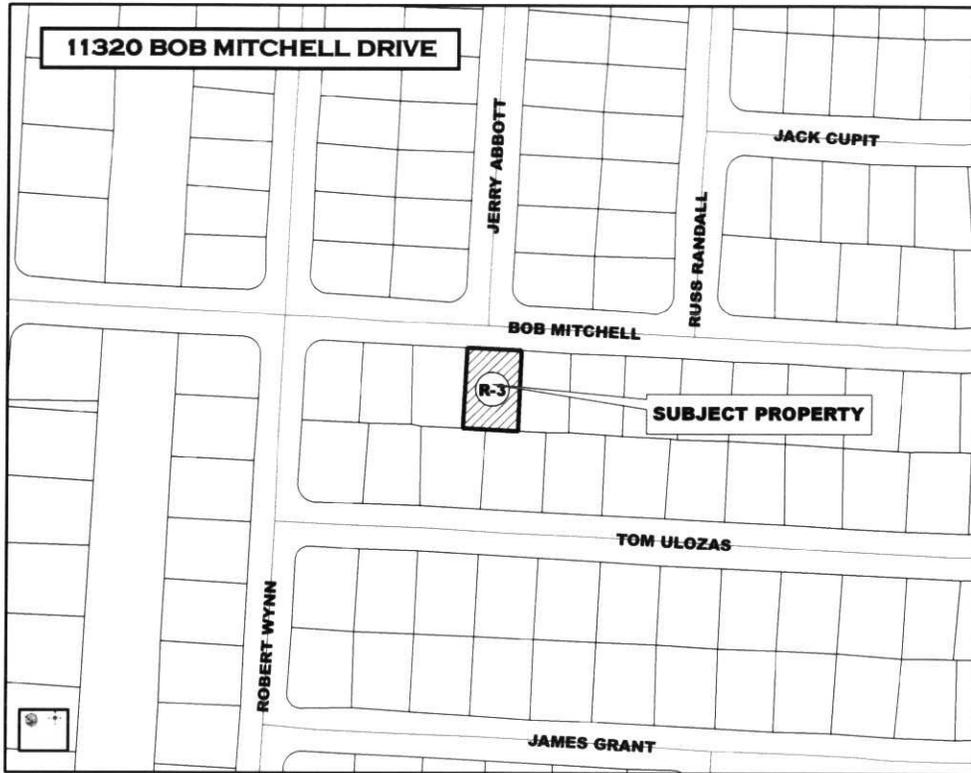
1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. ***The total width of all extensions granted shall not exceed one-third of the average width of the site; and,***
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit."



THIS SURVEY PLAT HAS BEEN REVIEWED BY THE UNDERSIGNED AND CONDITIONS HEREBY NOTED.

WYNN DRIVE
 ROBERT

ZONING MAP



NOTIFICATION MAP

