

Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-5 (Residential) zone.

This would permit an addition of which approximately 145 square feet (24' by 6') is proposed to encroach into the required rear yard setback and to be located to within 18 feet of the rear property line.

The required cumulative front and rear yard setback total is 45 feet in the R-5 zone district.

BACKGROUND

The request is for an addition in the rear yard for a master bedroom expansion and new TV room. The applicant is also proposing approximately 80 square feet of open porch as part of the addition.

CALCULATIONS

Permitted square feet encroachment = 249 sq. ft. (17' [51.28' average lot width ÷3] x 14.64' [3/5 of 24.33'])

Requested square feet encroachment = 144 sq. ft. (24.33' x 5.75')

Required cumulative setback = 45'

Requested cumulative setback = 38'

STAFF RECOMMENDATION

Staff recommendation is for approval of the request as it meets the requirements for the Special Exception C.

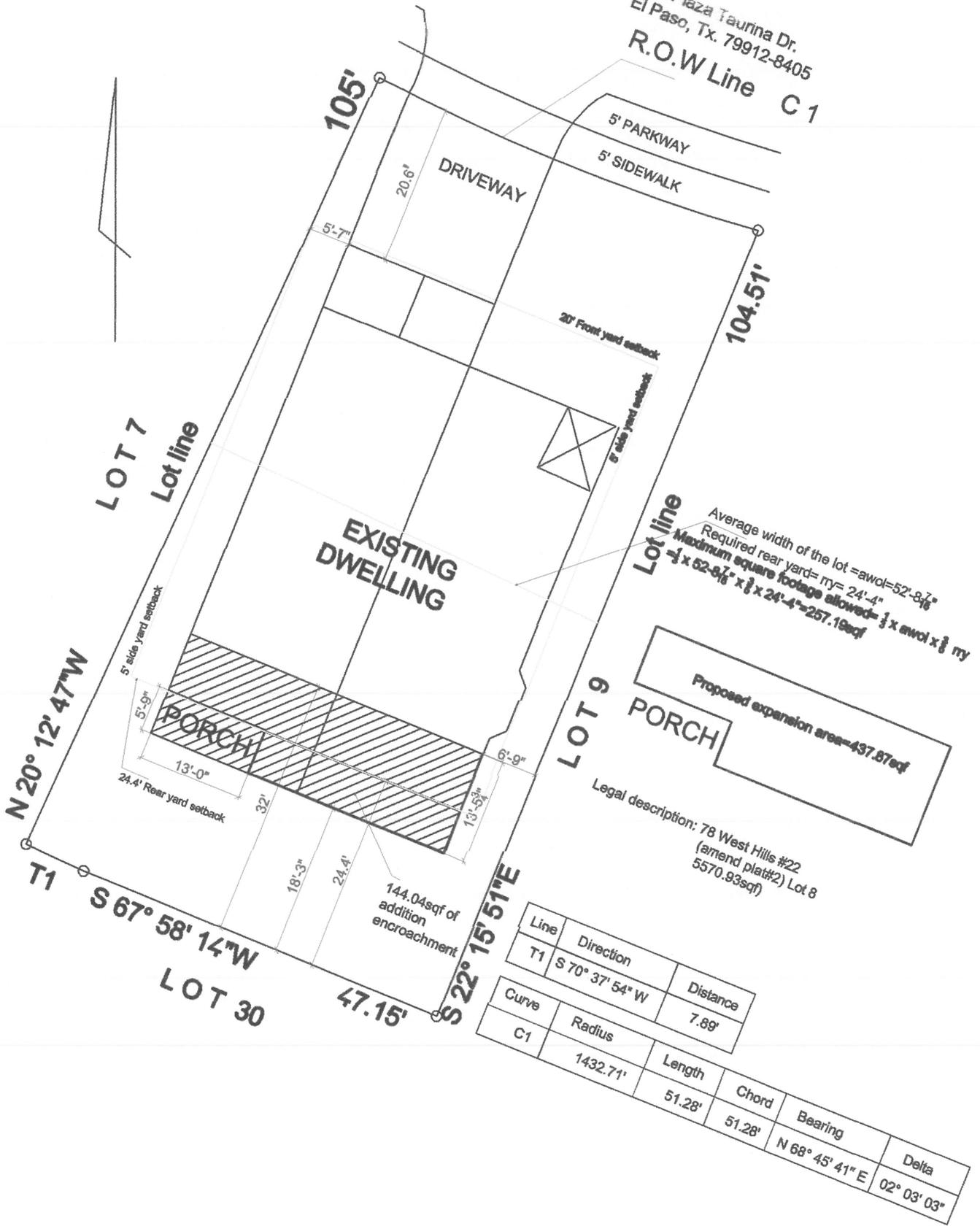
The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

“Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. The total width of all extensions granted shall not exceed one-third of the average width of the site; and,
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit.

Address: 7440 Plaza Taurina Dr.
 El Paso, Tx. 79912-8405

R.O.W Line C 1



Average width of the lot = $awol = 52' - 8\frac{7}{16}"$
 Required rear yard = $ry = 24' - 4"$
 Maximum square footage allowed = $\frac{1}{2} \times awol \times \frac{3}{8} \times ry$
 $= \frac{1}{2} \times 52' - 8\frac{7}{16}" \times \frac{3}{8} \times 24' - 4" = 257.19 \text{sqft}$

Proposed expansion area = 437.87sqft

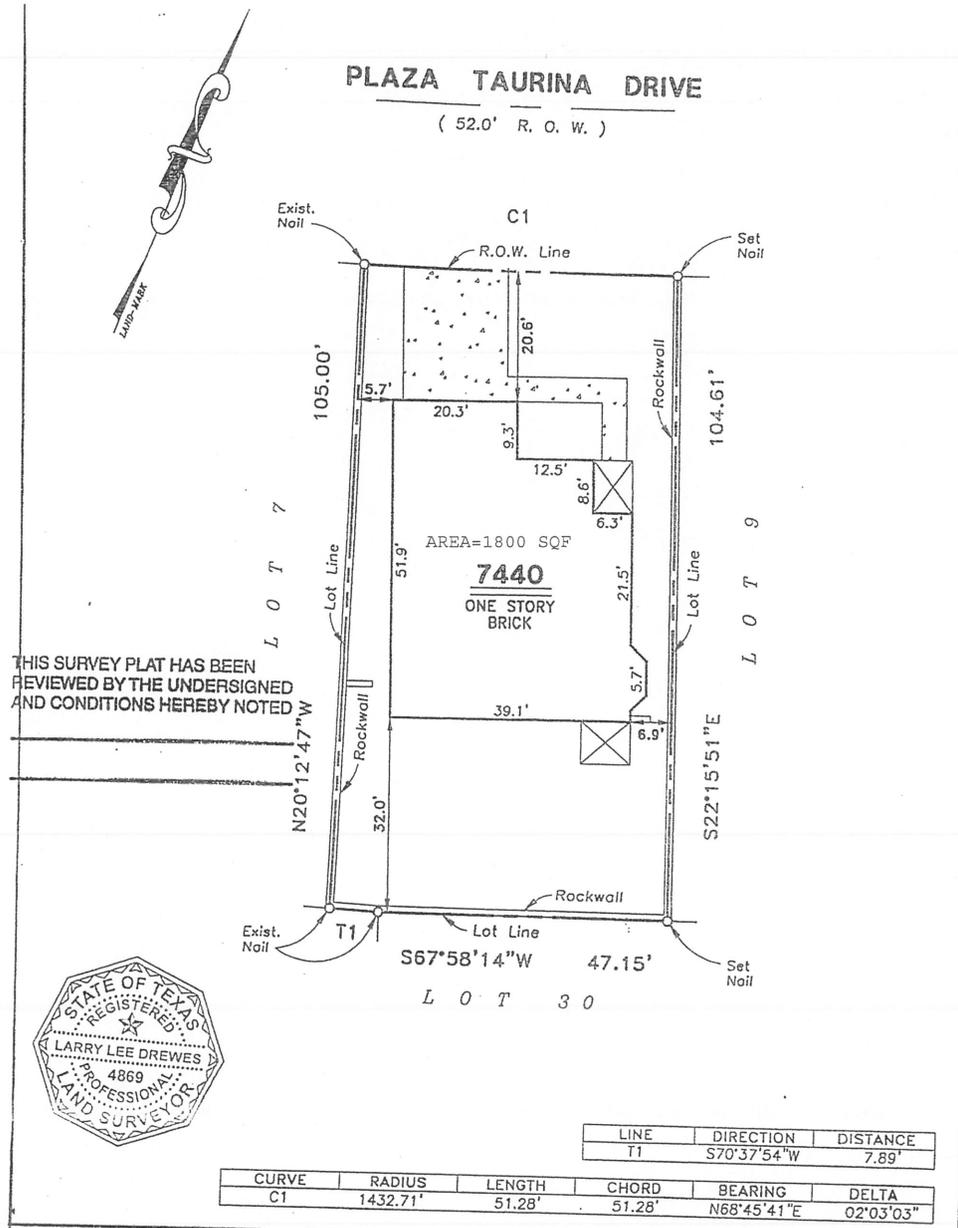
Legal description: 78 West Hills #22
 (amend plat#2) Lot 8
 5570.93sqft

| Line | Direction | Distance |
|------|-----------------|----------|
| T1 | S 70° 37' 54" W | 7.89' |

| Curve | Radius | Length | Chord | Bearing | Delta |
|-------|----------|--------|--------|-----------------|-------------|
| | | | | | |
| C1 | 1432.71' | 51.28' | 51.28' | N 68° 45' 41" E | 02° 03' 03" |

PLAZA TAURINA DRIVE

(52.0' R. O. W.)

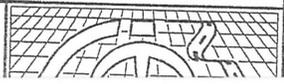


| LINE | DIRECTION | DISTANCE |
|------|-------------|----------|
| T1 | S70°37'54"W | 7.89' |

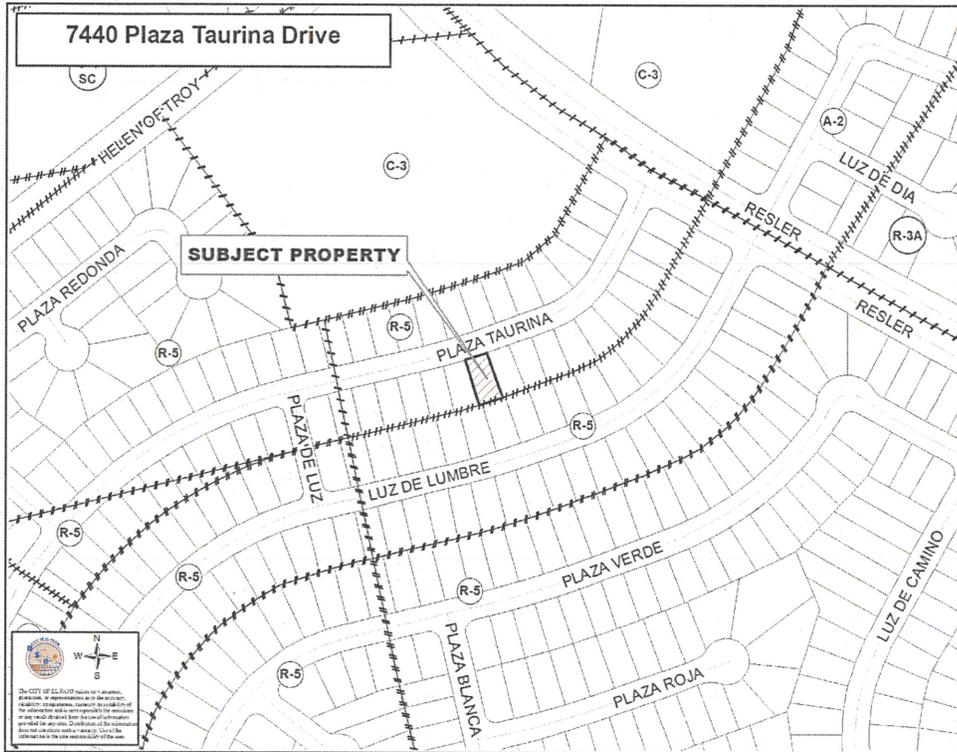
| CURVE | RADIUS | LENGTH | CHORD | BEARING | DELTA |
|-------|----------|--------|--------|-------------|-----------|
| C1 | 1432.71' | 51.28' | 51.28' | N68°45'41"E | 02°03'03" |

I hereby certify that the foregoing boundary and improvement survey was made by me or under my supervision and that there are no encroachments present.

Plat of Survey



ZONING MAP



NOTIFICATION MAP

