

Applicant requests a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-4 zone.

This would permit the construction of a 23' by 24' carport of which a 23' by 9' portion is proposed to encroach 9' into the required front yard setback. The required cumulative front and rear yard setback total is 45 feet in an R-4 (Light Density Residential) zone.

BACKGROUND

The applicant is requesting to add a carport that is proposed to be located to within two feet of the front property line. There are no utility easements located at the front property line. Building Permits & Inspections has reviewed the plans and notes no problems with the structural plans.

CALCULATIONS

Permitted carport area = 470.60 sq. ft. (First floor area under roof = $1,603 \div 5 = 320.60$ sq. ft. + 150 sq. ft. of permitted porch)

Carport area proposed to encroach in required front yard setback = 207 sq. ft. (23' x 9')

Required front yard setback = 11'

Requested front yard setback = 2'

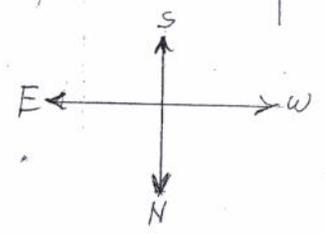
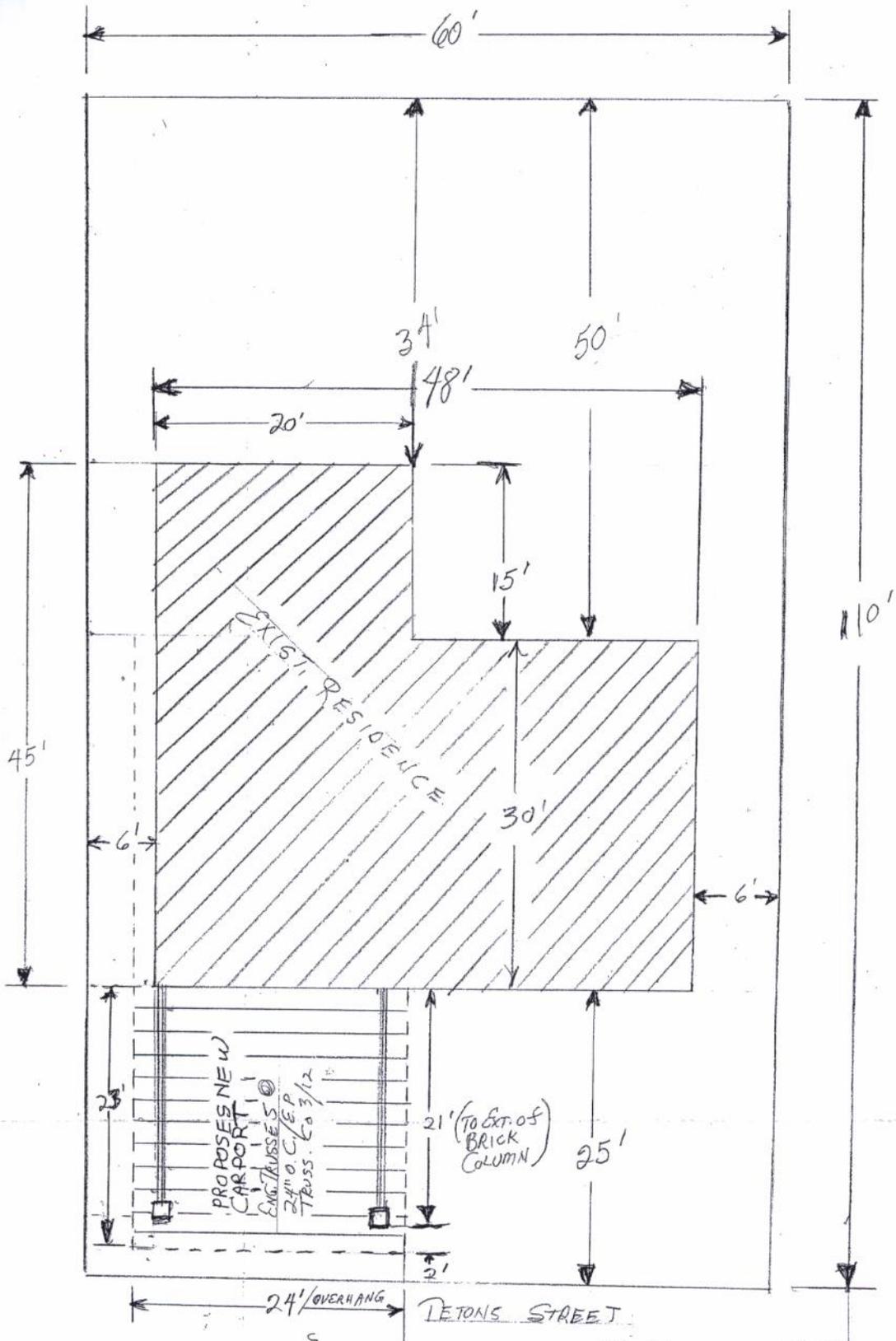
STAFF RECOMMENDATION

Staff recommends approval of the request for the carport as it meets the requirements of the Special Exception.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



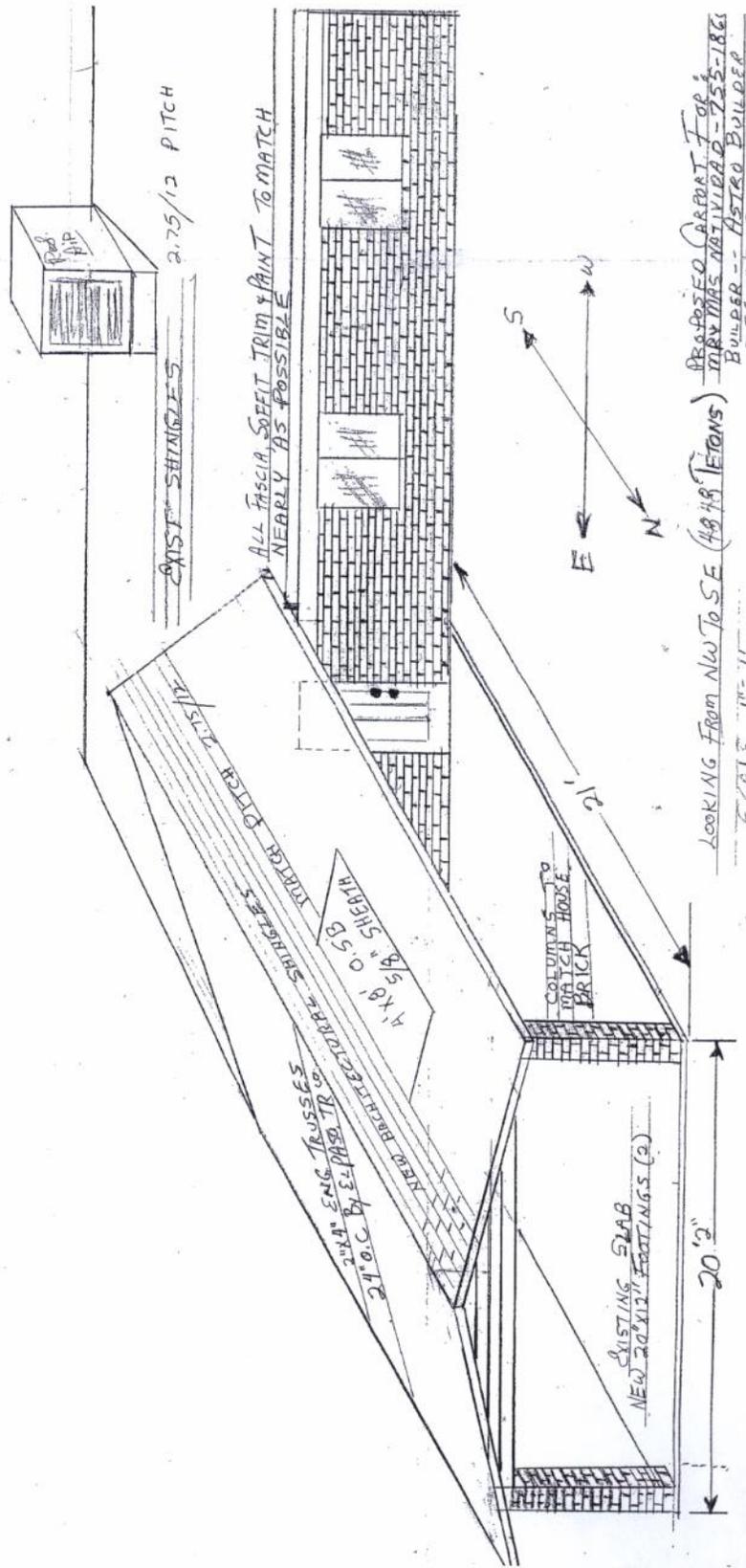
1/8" = 1' SCALE 1" = 8'

Mrs. MRS. ACTIVIDAD

48' x 8' TETONS E.P.T.X.

PLOT PLAN 20' x 21' C.P.

23' x 24' CARPORT/OVERHANG



2.75/12 PITCH

EXIST. SHINGLES

ALL FASCIA SOFFIT TRIM & PAINT TO MATCH
NEARLY AS POSSIBLE

NEW BRICK/CEMENT SHINGLES

4" x 8" O.S.B. SHEATH

2" x 4" ENG. TRUSSES
BY E. PASO, TR. CO.

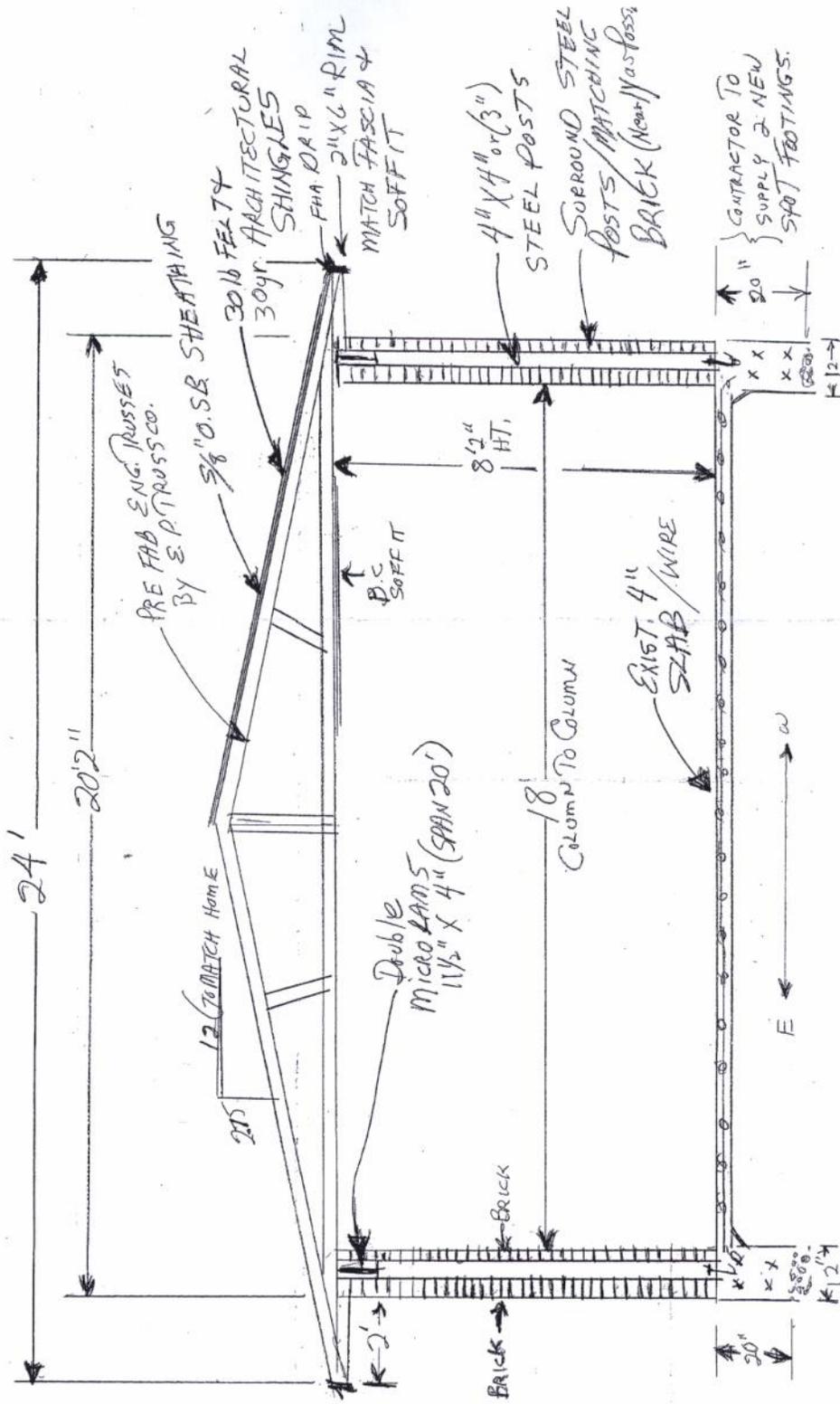
COLUMNS TO
MATCH HOUSE
BRICK

EXISTING SLAB
NEW 20" x 12" FOOTINGS (2)

20' 3"



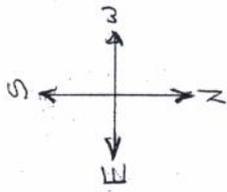
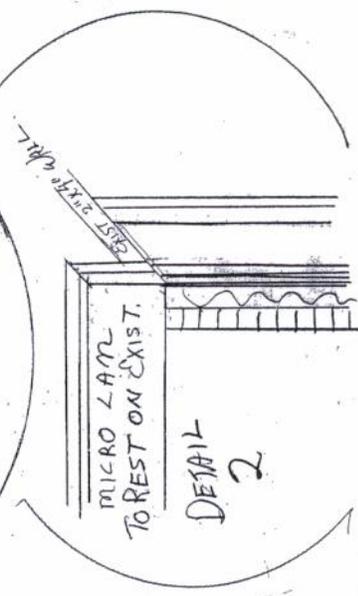
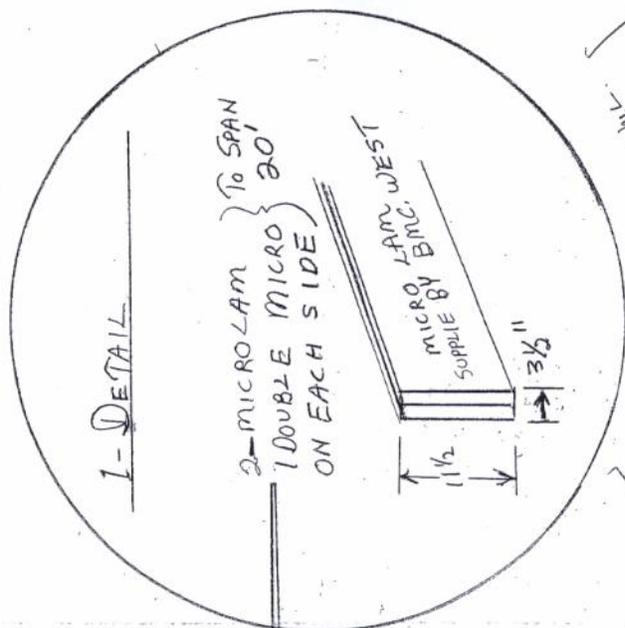
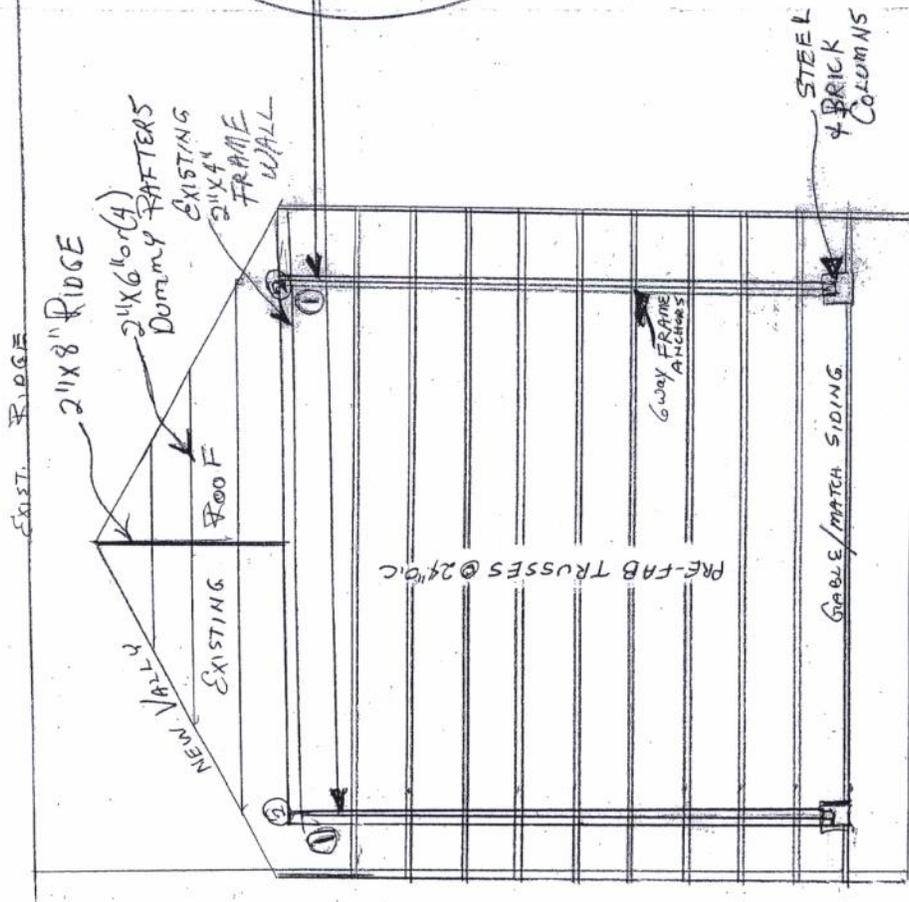
LOOKING FROM NW TO SE (40.48 FEET)
PROPOSED CARPORT TOP
MAY BE MATCHED TO - 755-186
BUILDER -- ASTRO BUILDER
356-7578
SCALE 1" = 1'



CROSS SECT. S.C. 1" = 2'

FRONT ELEVATION

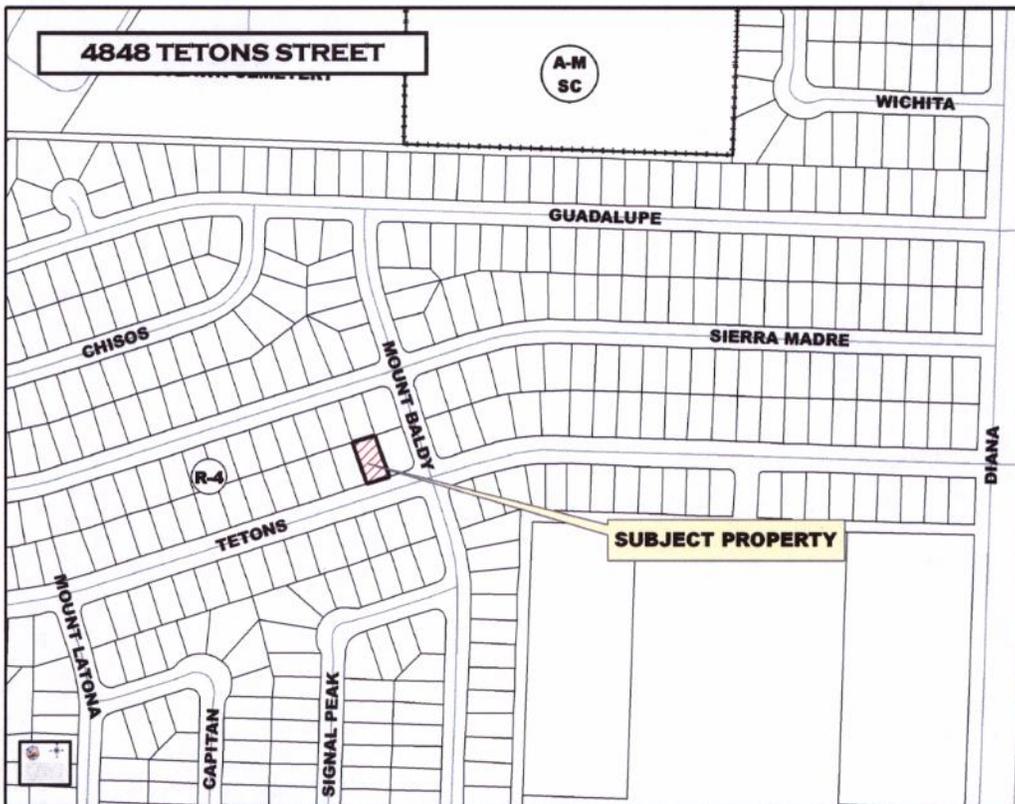
MRS. M. NATIVIDAD
4848 TETONS EXP. IX
PROPOSED CARPORT



FLOOR PLAN 1" = 4'

CARPORT - MRS. NATIVIDAD
 4848 CLETONS EPTX
 755-1860
 CONTRACTOR & REPAIR - ASTRO BLORSI 256-75

ZONING MAP



NOTIFICATION MAP

