

**Applicant requests a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-4 (Residential) zone.**

This would permit a 23'4" by 25' carport, of which a 23'4" by 11' portion is proposed to encroach in the required front yard setback.

The required front and rear yard setback cumulative total is 45' in the R-4 zone district.

**BACKGROUND**

The applicants are requesting the addition of a carport that is proposed to be located to within 2' of the front property line. There are no utility easements at the front property line. The applicant's plans indicate that the materials used for the carport will match the existing house and the roof will be lower than the roofline of the house. A tree is proposed to be removed from the front yard in order to locate the carport. The Building Permits & Inspection Division has reviewed the structural plans and notes no objections.

**CALCULATIONS**

Permitted carport area = 392.80 sq. ft. (1,964 sq. ft. of first floor area ÷ 5)

Carport area proposed to encroach in required front yard setback = 256.63 sq. ft. (23'4" x 11')

Required front yard setback = 13'

Requested front yard setback = 2'

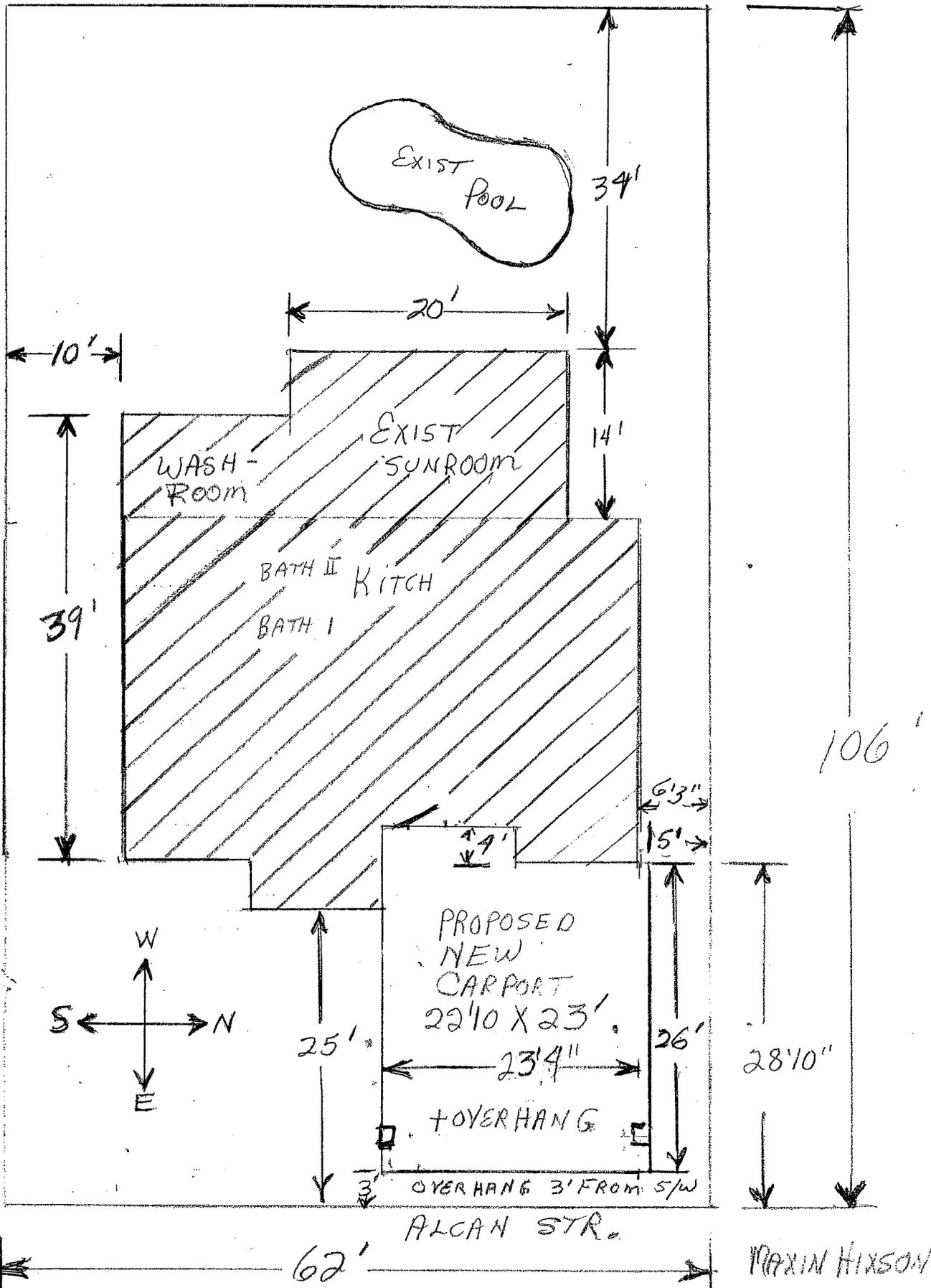
**STAFF RECOMMENDATION**

Staff recommends approval of the request for the Special Exception, pending written confirmation of Building Permits & Inspections approval.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

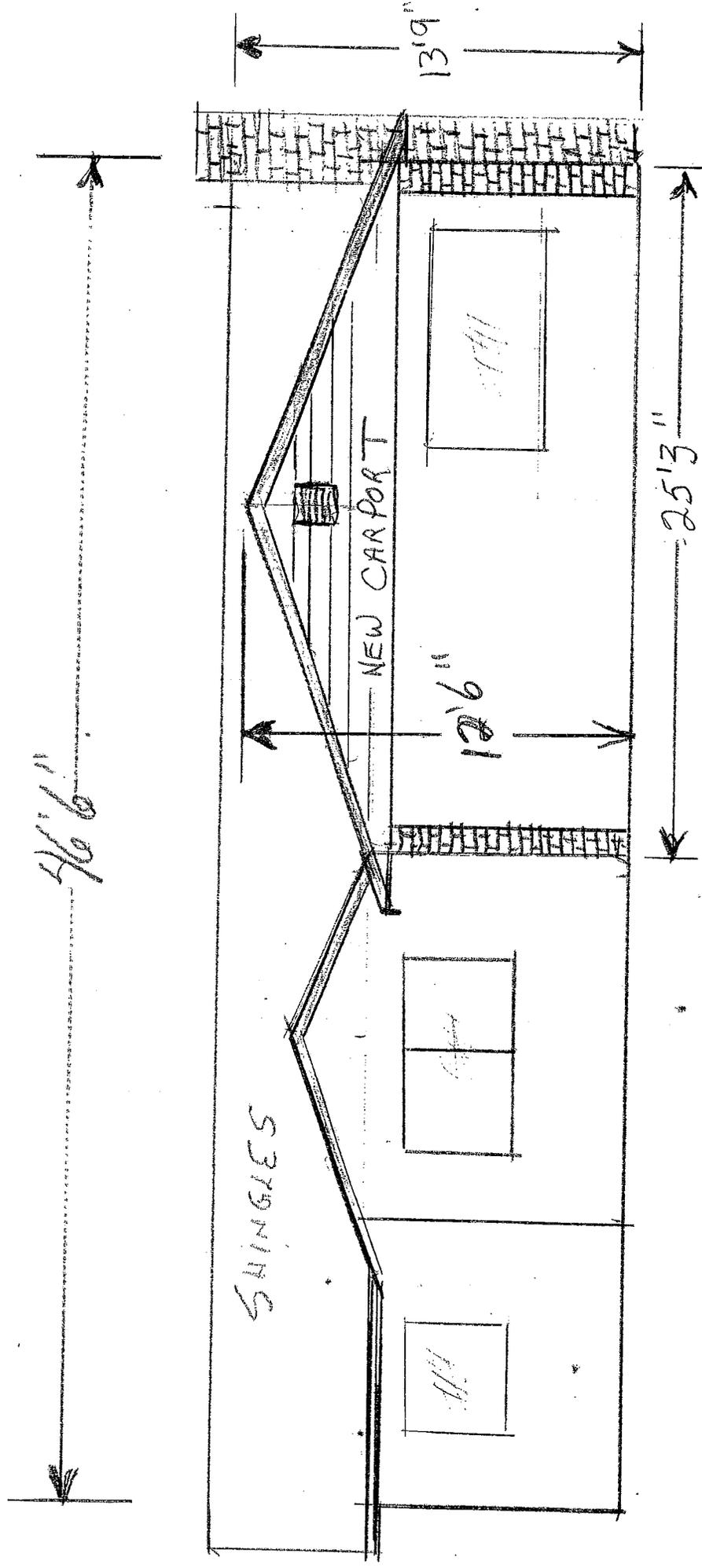
1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



PLOT PLAN 1" = 12'

CARPORT 10053 ALCAN

MAXIN HIXSON



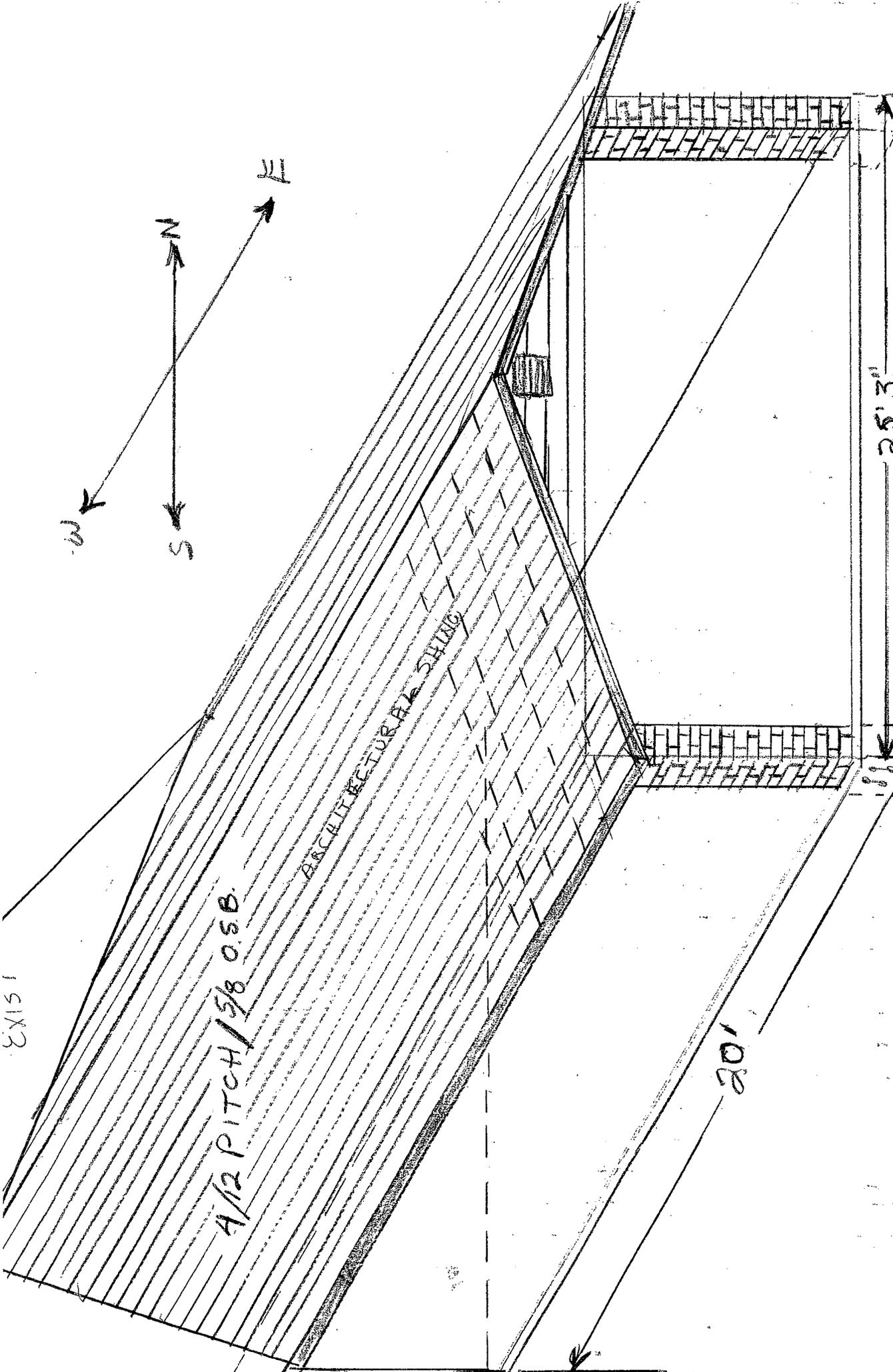
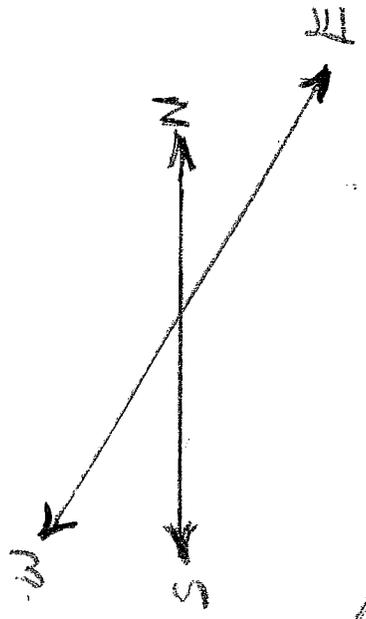
SCALE 1" = 5' ELEVATION VIEW  
 LOOKING WEST

10053 ALCAN  
 MAXINE HIXON

EXIST

4/12 PITCH / 5/8 OSB

ARCHITECTURAL SHING



1" = 4"  
 SE Looking N.W.  
 22' 10" X 23' CARPORT : MAXINE HIXSON  
 10053 ALCAN BUILDER : ASTRO BLOAS

20'

25' 3"

3 DIM

5/8" O.S.B. SHEATH /  
 FEET &  
 ARCHITECTURAL 2" X 4" TRUSSES  
 SHINGLES FROM EL PASO  
 TRUSS CO.

4  
 12

3-14" MICRO-  
 LAMS

VAULT INT. TRUSSES /  
 SOFFIT

22' SPAN

3-14" MICRO LAMS

TRUSS DETAIL / PLAN PROVIDED BY  
 EL PASO, TRUSS

4" STEEL

4" STEEL  
 BR VENEER

EXIST'G  
 SLAB  
 14" X 14" #4  
 FTNG.

2- NEW SPOT FOOTINGS (SLAB EXISTS)

14" X 14" X 20" / 4# REBAR

2' OVER-  
 HANG

8 3/4"

24"

22' 10"

CROSS SECTION VIEW 1" = 3' 22' 10" X 23' CARPORT + EAVE  
 ASTRO BUILDERS (556-7578) HOME OWNER - MAXINE HIXSON

**MiTek Industries, Inc.**

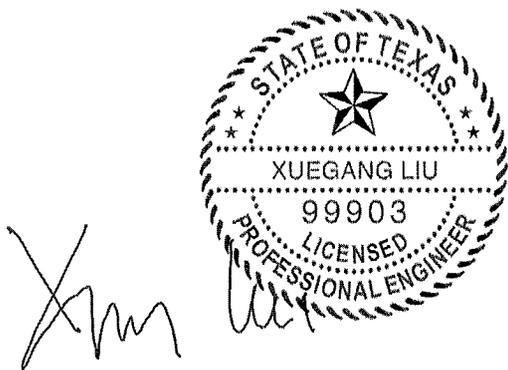
14515 North Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017-5746

Re: AB-10053  
Astro Builders

The truss drawing(s) referenced below have been prepared by MiTek Industries, Inc. under my direct supervision based on the parameters provided by El Paso Truss.

Pages or sheets covered by this seal: I15877794 thru I15877795

My license renewal date for the state of Texas is September 30, 2010.

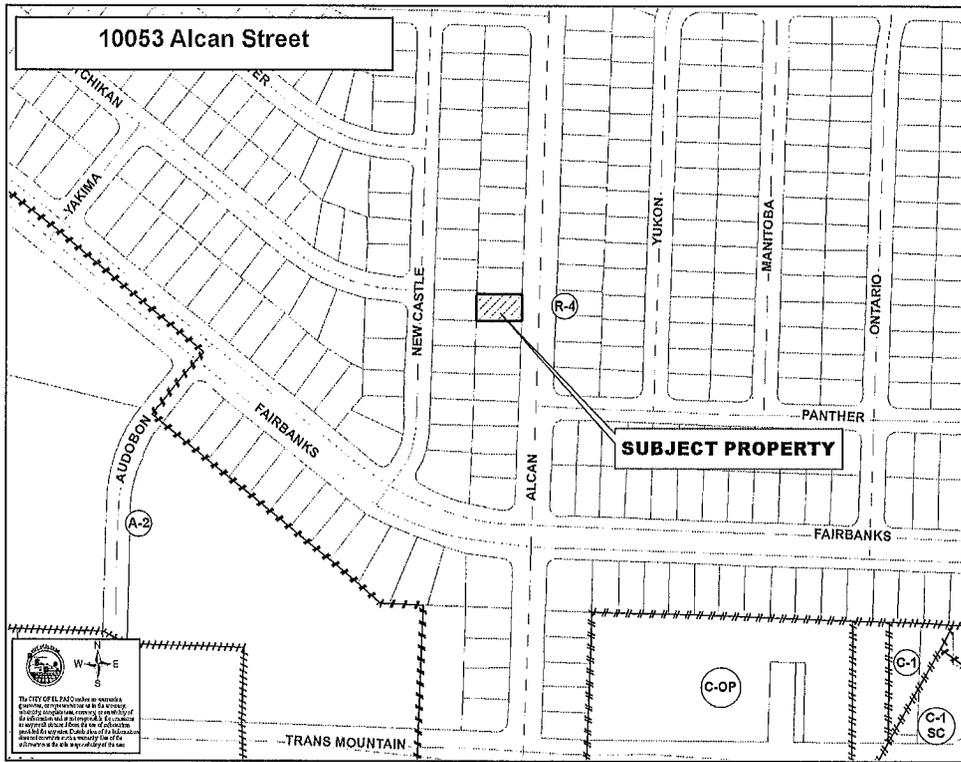


October 14, 2009

Liu, Xuegang

The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI-2002 Chapter 2.

# ZONING MAP



# NOTIFICATION MAP

