

Applicants request a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an A-2 (Apartment) zone.

This would permit a 23'4" by 20'4" carport that is proposed to encroach 20' into the required front yard setback and to be located to within 5' of the front property line.

The required front and rear yard setback cumulative total is 45 feet for a single-family residence in the A-2 zone district.

BACKGROUND

The applicants are requesting the addition of a carport that is proposed to be located to within 5' of the front property line. There are no utility easements at the front property line. The applicant's plans indicate that the materials used for the carport will match the existing house. The roofline of the existing house is noted as 13' on the elevation drawing. The carport roof shall rise no higher than the roof of the house. The Building Permits & Inspection Division has reviewed the structural plans and notes no objections. A site visit reveals a wall at the front that appears to be higher than the 42" of solid masonry wall permitted in the front yard. The staff has received one letter in opposition to the request.

CALCULATIONS

Permitted carport area = 506.40 sq. ft. (1,782 sq. ft. first floor area ÷ 5 = 356.40 sq. ft. + 150 sq. ft. of permitted open porch

Carport area proposed to encroach in required front yard setback = 474.29 sq. ft.

Required front yard setback = 25'

Requested front yard setback = 5'

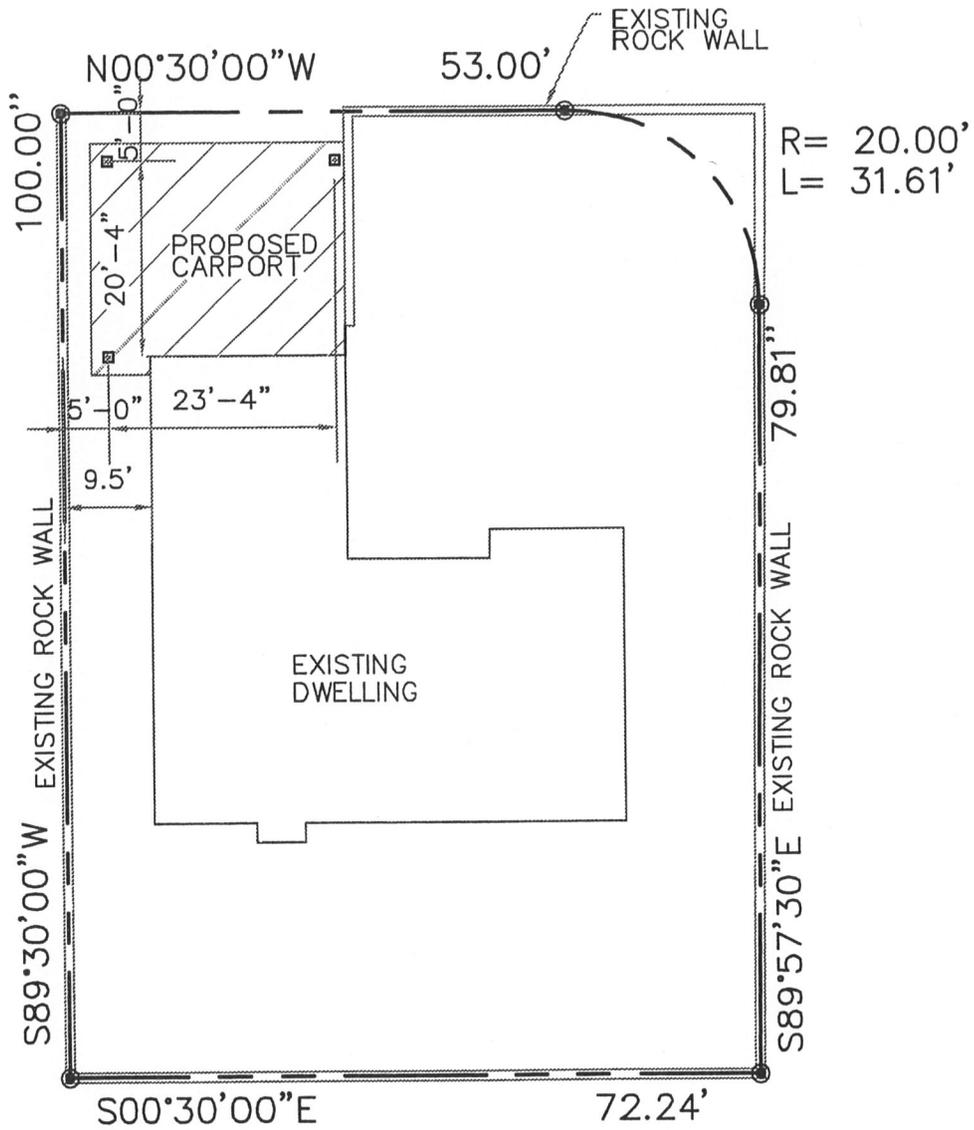
STAFF RECOMMENDATION

No recommendation at this time.

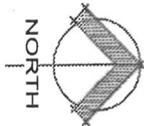
The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



3020 ROY PACE DRIVE



SITE PLAN

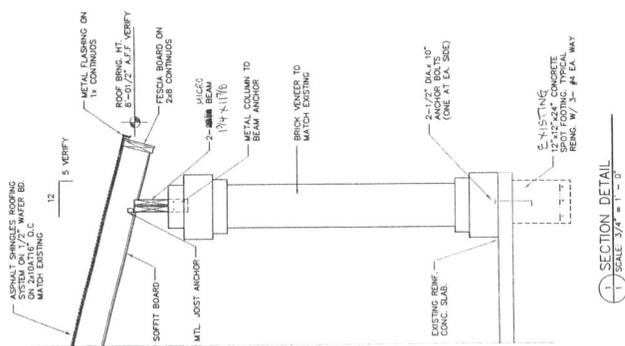
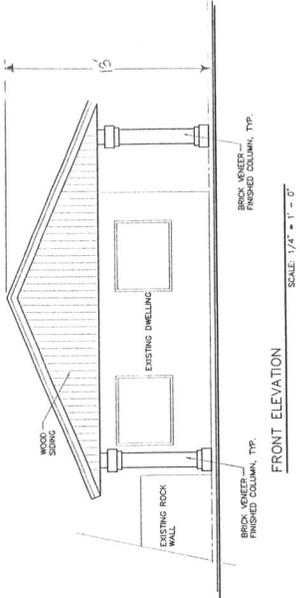
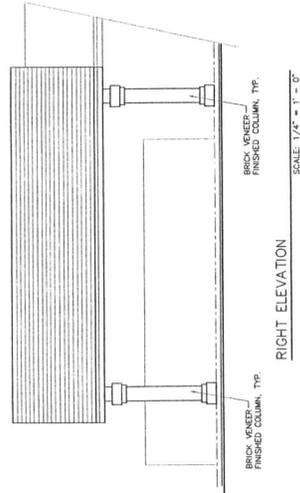
Scale: 1" = 20.0'

LEGAL DESCRIPCION :

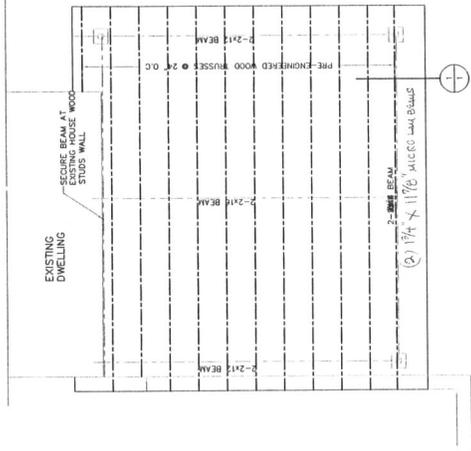
LOT 30, BLOCK 97, VISTA DEL SOL UNIT THIRTY THREE
 CITY OF EL PASO, EL PASO COUNTY, TEXAS.



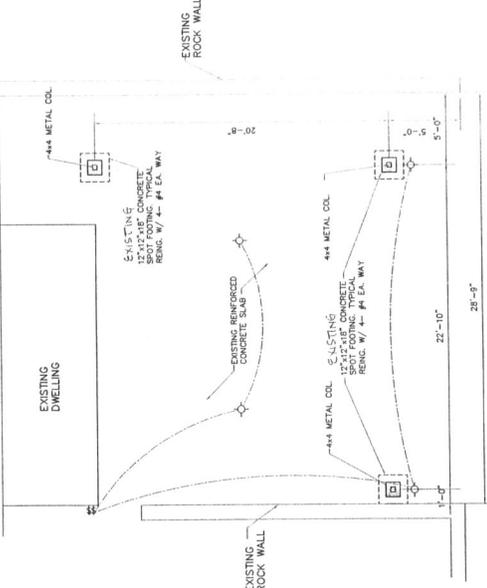
SITE PLAN
 SCALE: 1" = 20' 0"
 LEGAL DESCRIPTION: 1/4 AC. SEC. 10, T15N R17E, S3E, DIST. HARRIS THREE, CITY OF EL PASO, D. EL PASO COUNTY, TEXAS.



SECTION DETAIL
 SCALE: 1/4" = 1'-0"

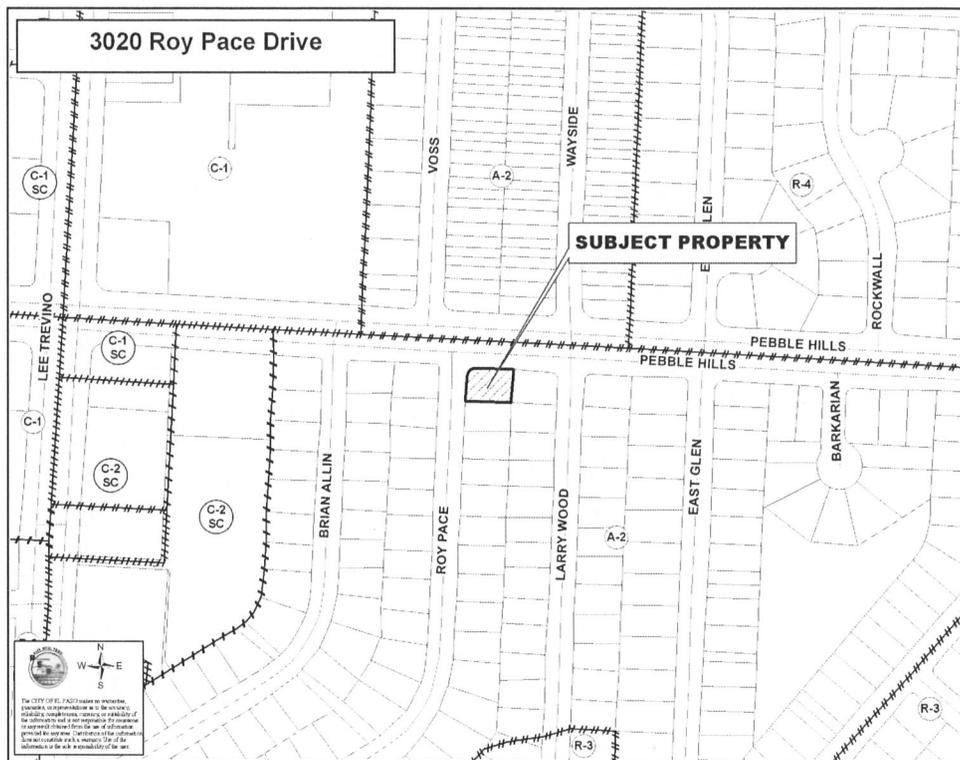


ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



FLOOR / FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

ZONING MAP



NOTIFICATION MAP

