

Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-3 (Residential) zone.

This would permit the addition of a 17' by 13' utility room that is proposed to encroach 7' into the required rear yard setback.

The required front and rear yard setback cumulative total is 50 feet in the R-3 zone district.

BACKGROUND

The applicants are adding a utility room that is proposed to be located to within 18 feet of the rear property line.

CALCULATIONS

Required rear yard setback = 25'

Requested rear yard setback = 18'

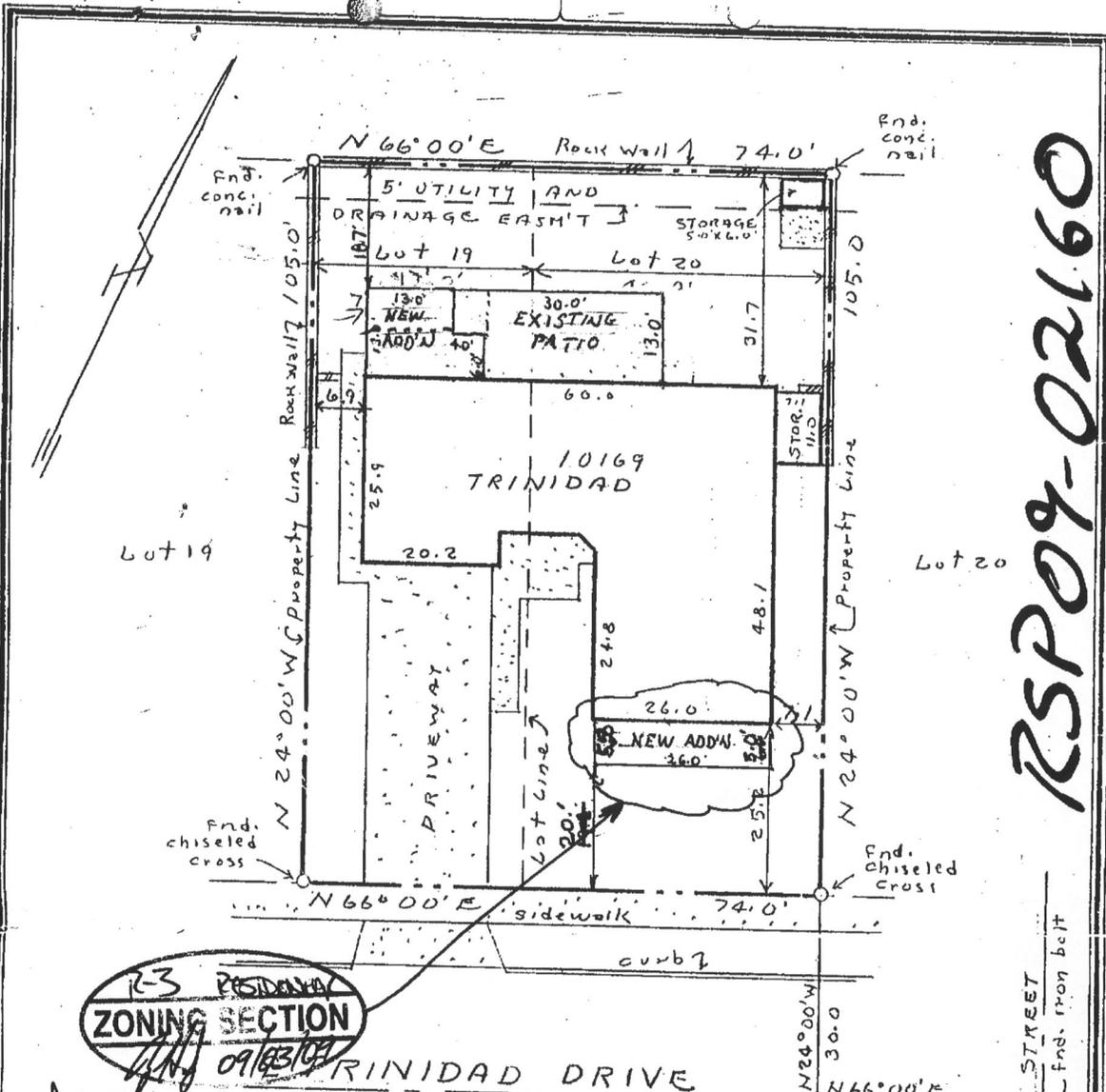
STAFF RECOMMENDATION

Staff recommends approval of the request as it meets the requirements of the Special Exception.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

“Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. The total width of all extensions granted shall not exceed one-third of the average width of the site; and,
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit.”



RSP09-02160

R-3 RESIDENTIAL ZONING SECTION
 09/23/09

APPROVED FOR FRONT BEDROOM ADDITION ONLY
 NEED ZEA APPROVAL FOR LAUNDRY ROOM & PORCH ENCROACHING INTO REAR SETBACK



DEVELOPMENT SERVICES DEPARTMENT
BUILDING PERMITS & INSPECTIONS DIVISION
ARCHITECTURAL REVIEW
 These Plans Have Been Reviewed For General Conformity
 With All Pertinent Codes And Ordinances

OCCUPANCY R3 RF/FL LOAD 20k
 TYPE CONST 1B OCCUPANT LOAD

BY [Signature] DATE 09/03/09

NOTE: This lot is not located in a flood hazard area as determined by the FIRM by the U.S. Federal Emergency Management Agency National Federal Insurance Program.

CERTIFICATION
 I hereby certify that the foregoing Boundary and Improvement survey was made by me or under my supervision and that there are no encroachments except as shown. Only platted easements are shown.

Manuel Calderon
 Manuel Calderon

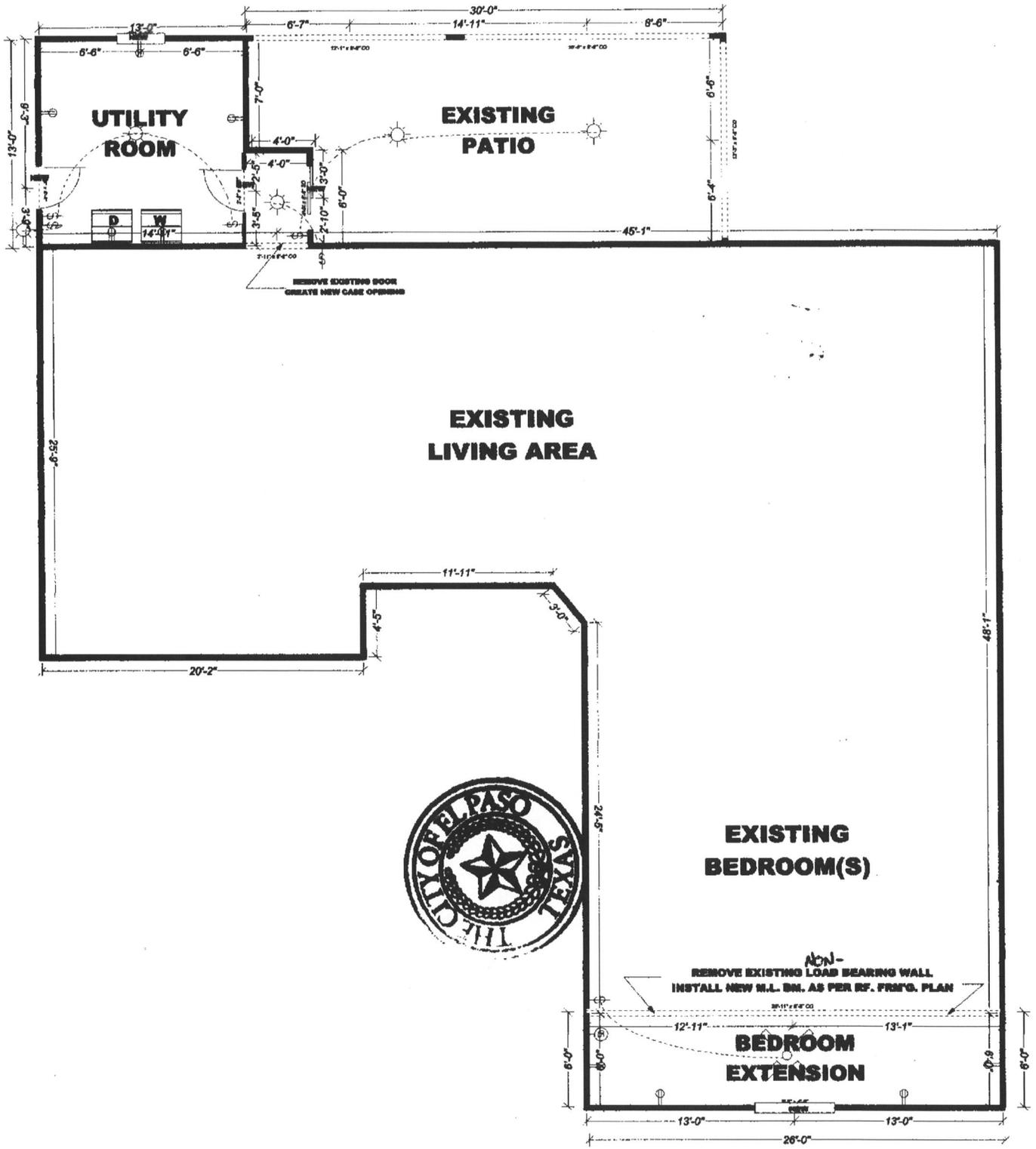
Registered Professional Land Surveyor-2564

Book 8 Page 6 Job No. 693-199

10169 TRINIDAD DRIVE
 THE EAST 32.0' OF LOT 19 PLUS THE WEST 42.0' OF LOT 20 BLOCK 3
 TROPICAL HILLS
 CITY OF EL PASO, EL PASO COUNTY, TEXAS

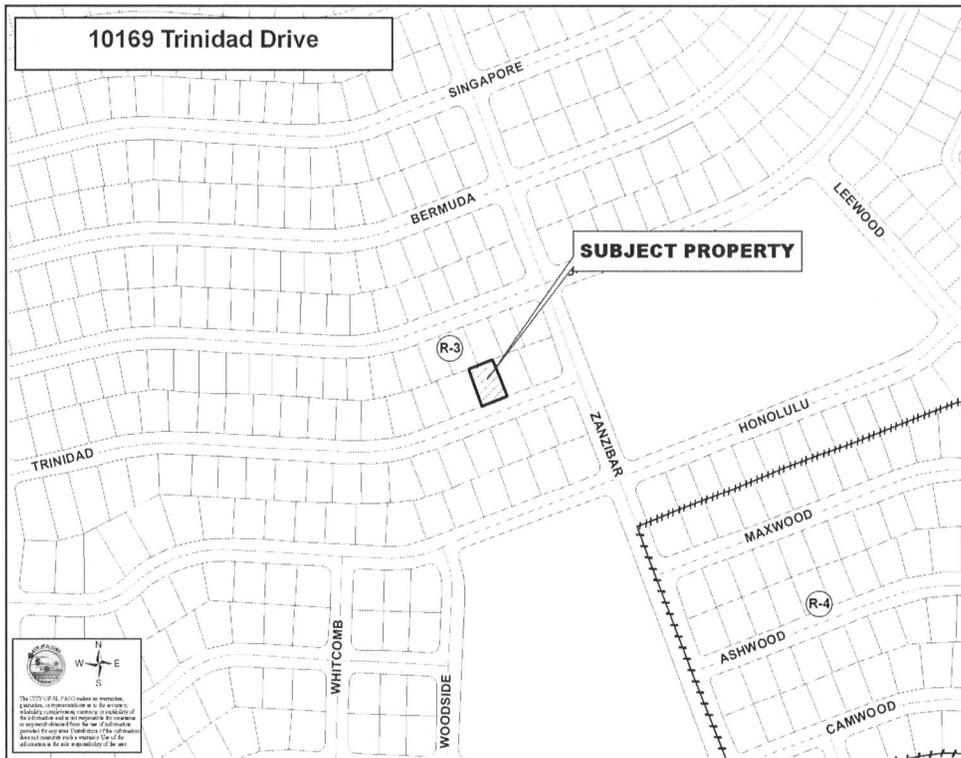
Field JZ Office GV Date 6-21-93 Scale 1"=20'

CALDERON ENGINEERING
 CIVIL / STRUCTURAL
 3031 TRAWOOD DR.
 EL PASO TEXAS, - 79936 - (915) 855-7552



NEW & EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"

ZONING MAP



NOTIFICATION MAP

