

**Applicant requests a Special Exception under Section 2.16.050 G (Rear Yard Setback) in an R-3 zone of the City of El Paso Zoning Ordinance.**

This would permit a 27' by 16' portion of a structure located to 9' of the rear property line.

A 25' rear yard setback is required in an R-3 zone.

**STAFF COMMENTS**

The applicant has agreed to reduce the width of the existing encroachment in the rear yard setback from 37' to 27', one-third the average width of the lot ( $81' \div 3 = 27'$ ), and located to 9.2' of the rear property line. The applicant is permitted to have an open porch of 180 sq. ft. in the rear yard setback.

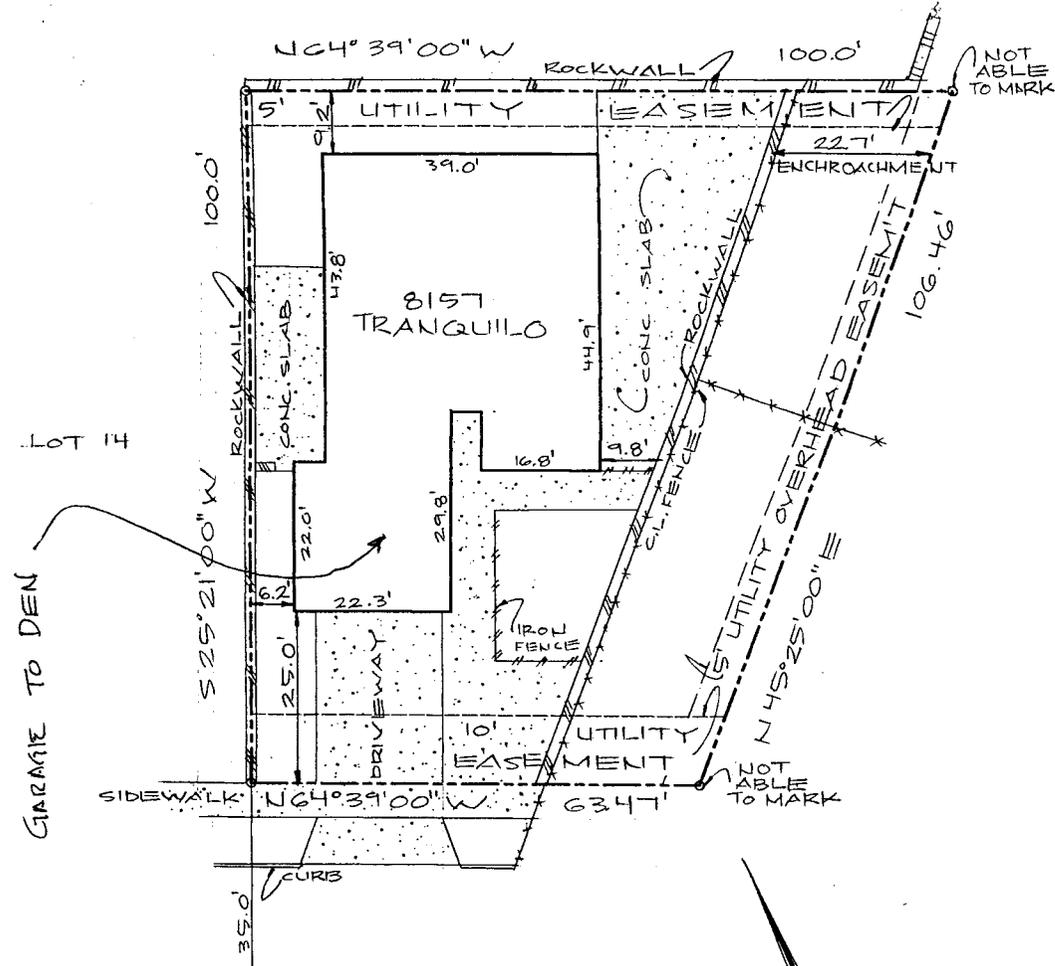
**STAFF RECOMMENDATION**

Staff recommends approval as the applicant has agreed to reduce the width of the encroachment in the rear setback to 27'.

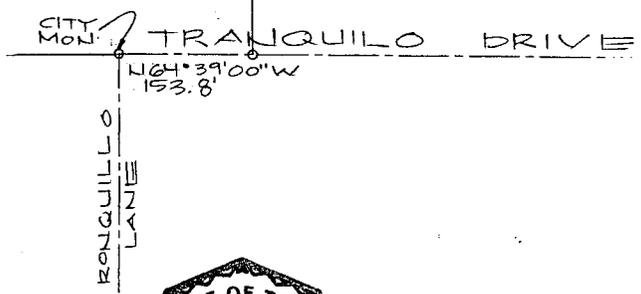
The Zoning Board of Adjustment is empowered under Section 2.16.050 G to:

"Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, and
2. The total width of all extensions granted shall not exceed one-third of the average width of the site, and
3. The minimum side and side street yards shall not be reduced, and
4. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred and twenty square feet, and
5. Unless otherwise provided in this ordinance, all remaining areas of the required rear yard shall be permanent open space, and
6. The extension shall not permit the creation of an additional dwelling unit or an over-intensive use or coverage of the site, and
7. The exceptions will be in harmony with the spirit and purposes of Titles 2 and 20, including the preservation of the essential character of the district in which is located the property for which the exception is sought; and
8. The public convenience and welfare will be substantially served; and
9. The use of neighboring property will not be substantially injured; and
10. Include any conditions and safeguards which the board deems appropriate, such as site arrangement, landscaping and hours of operation."



LOT 14  
 GARGIE TO DEN  
 S 25° 21' 00" W  
 100.0'



This lot is not located in a flood hazard area as determined by the FIRM by the U.S. Federal Emergency Management Agency National Federal Insurance Program.

**CERTIFICATION**

I hereby certify that the foregoing Boundary and Improvement Survey was made by me or under my supervision and that there are no encroachments except as shown. Only platted easements are shown.

*Manuel Calderon*  
 Manuel Calderon  
 Registered Professional Land Surveyor 2564

Bearing orientation is as per plat of:  
 LIDO SQUARE

Book 49 Page 7 Job No. 899.182

8157 TRANQUILLO DRIVE  
 LOT 15, BLOCK 2  
 LIDO SQUARE  
 CITY OF EL PASO  
 EL PASO COUNTY, TEXAS

Field MO Office LU Date 7.1.99 Scale 1"=20'

**CALDERON ENGINEERING**  
 CIVIL - STRUCTURAL  
 3031 TRAWOOD DR.  
 EL PASO, TEXAS 79936 (915) 855-7552

**8157 TRANQUILO DRIVE**

**SAINT ANDREW**

**COMALAND MARFIL**

**SUBJECT PROPERTY**

**TRANQUILO**

**OTUILLO**

R-3

C-1

R-F

R-3  
SC

R-3



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**8157 TRANQUILO DRIVE**

**GRIFFIN**

**SAINT ANDREW**

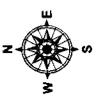
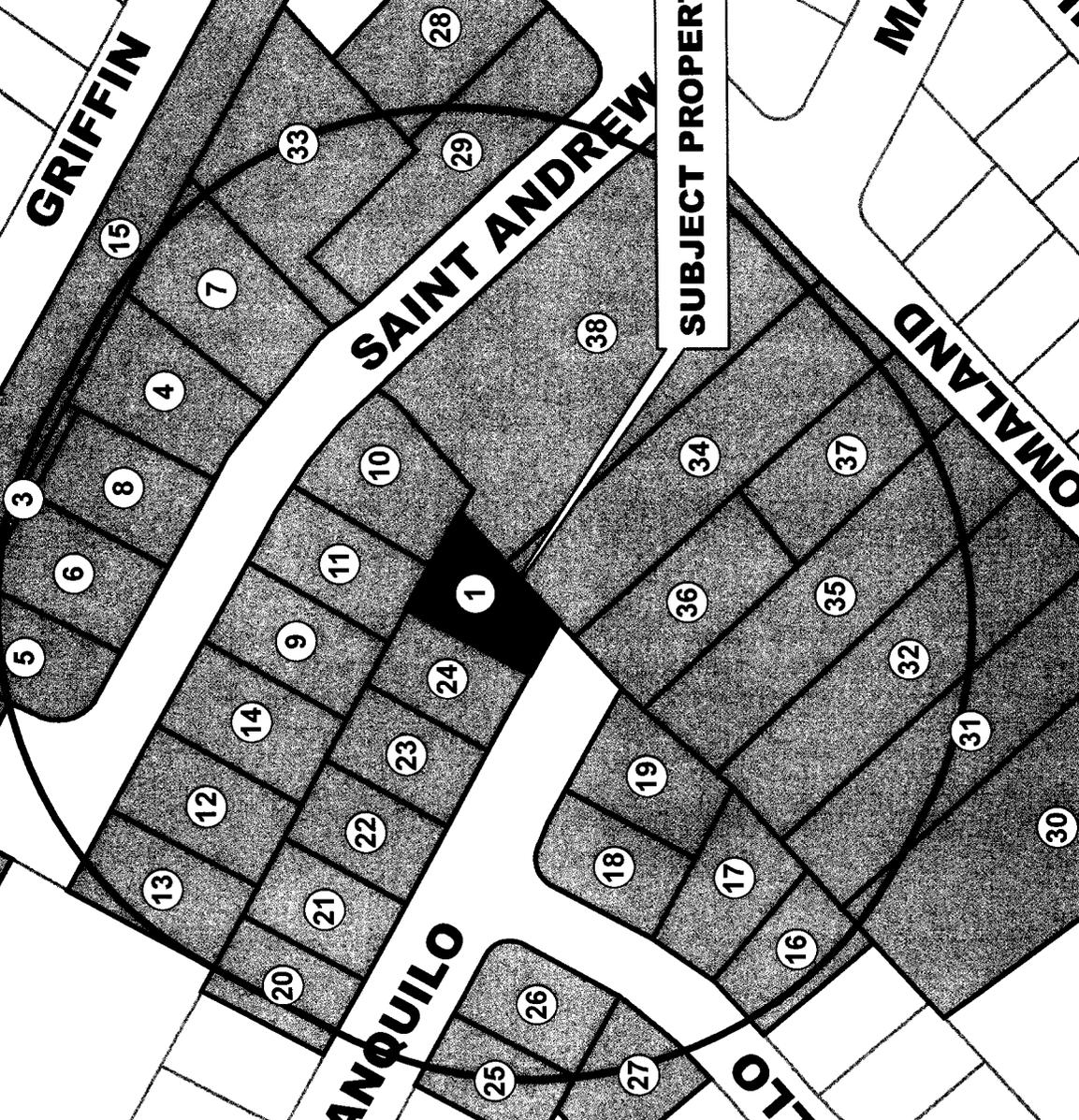
**MARFIL**  
**COLMILLO**

**LOMALAND**

**TRANQUILO**

**RONQUILLO**

**SUBJECT PROPERTY**



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