

Applicant request a Special Exception under Section 2.16.050 J (Carport over a driveway) in an R-3 (Residential) zone.

This legalize an existing 23.33' by 24.58' carport (573.61 square feet), 350 square feet of which encroaches in the required front yard setback and to be located to within 3.5' of the front property line.

Per Section 20.12.040.B.4, a carport may extend up to 10' into the required front yard, 150 square feet in floor area.

The required front setback is 25' and the required cumulative front and rear yard setback total is 50' in the R-3 zone district.

BACKGROUND

The subject property was constructed in 1959.

The carport matches the house in color and roof style, pitch, and shingles, but the columns of the carport do not match the materials of the existing home. The existing home is clad in aluminum siding, painted white, and red brick. The carport columns are finished in white stucco.

The Planning Division has received no communications in support of or in opposition to the special exception request.

CALCULATIONS

Permitted carport area = 795.72 sq. ft. (house 1st floor area of 3230 sq. ft. ÷ 5 (646), plus 150 square feet of permitted encroachment)

Requested carport area = 350 sq. ft. (152' x 23.33')

Required front yard setback = 25'

Requested front setback = 3.5'

Required front and rear yard setback total = 50'

Requested front and rear yard setback total = 28.5'

STAFF RECOMMENDATION

Staff recommendation is for **APPROVAL** with one condition of the request of Special Exception J as the requested carport encroachment (350 sq. ft.) is less than the maximum allowable (795.72 sq. ft.). The condition is as follows:

1. *The columns of the existing carport shall be clad in brick veneer, of a color that matches or is substantially similar to the bricks used on the front of the house, prior to final inspection.*

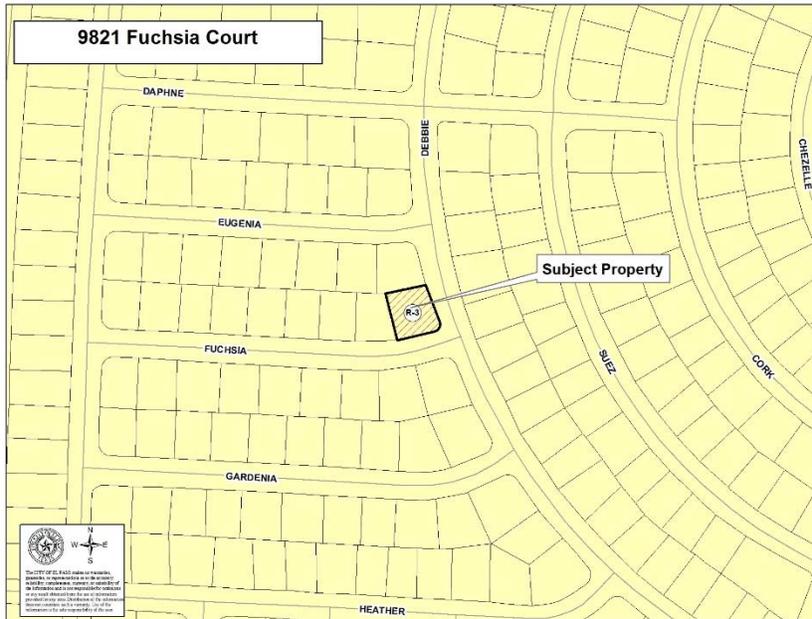
The Zoning Board of Adjustment is empowered under Section 2.16.050 J to:

“Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

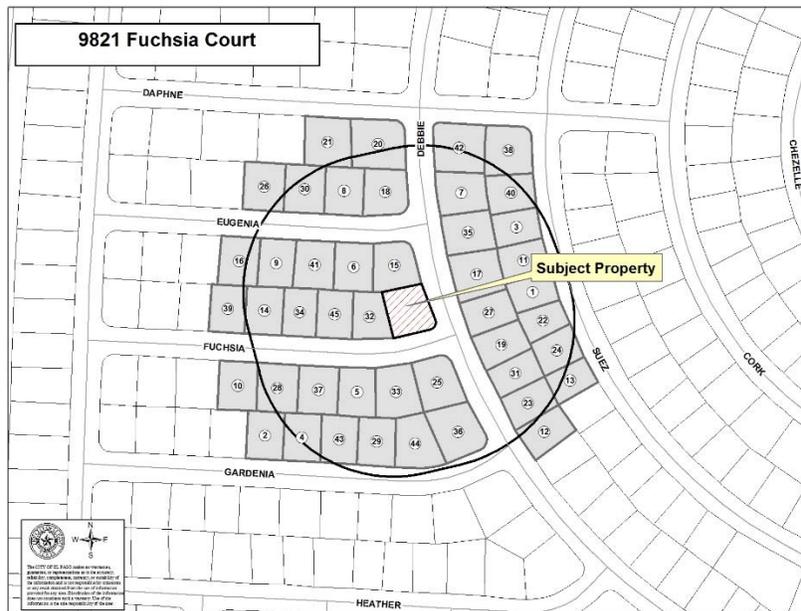
1. The residence has been in existence with a valid certificate of occupancy for one continuous year;
2. The zoning board of adjustment has received the written approval of the structural design from the building official;
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, shall be open on three sides, shall be attached to the main structure and shall rise no higher than the highest point of the roof of the dwelling;
4. The area of the carport shall not exceed one-fifth of the first-floor area under roof of the dwelling and shall be measured as the area covered by the carport roof, to include overhangs;
5. Elevation drawings of the proposed structure shall be submitted;
6. For a duplex, the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit;
7. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this Code; and
8. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space.”

ITEM #7

ZONING MAP



NOTIFICATION MAP



REVISIONS

PROJECT ARCHITECT: _____
 PROJECT NUMBER: _____
 DRAWING BY: _____
 DATE: 10-24-16
 FILE: _____

OWNER: _____
 X X X X X

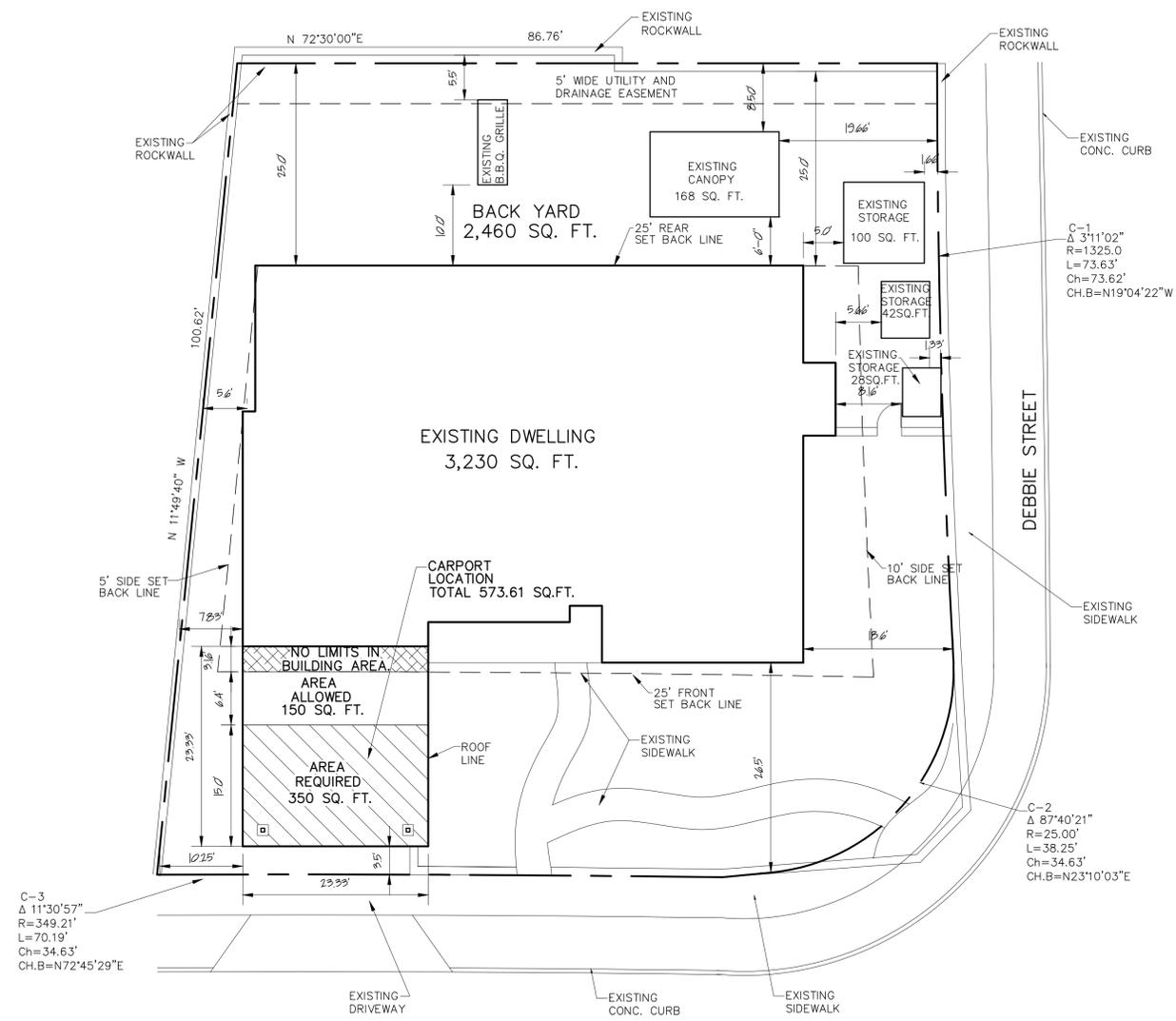
PROJECT NAME
 CARPORT ADDITION TO
9821 FUCHSIA CT.
 EL PASO, TEXAS

PROJECT NAME

J L J DESIGNS
 CELL (915) 329-4346
 9434 VISCOUNT BLVD. SUITE 148
 EL PASO, TEXAS, 79915

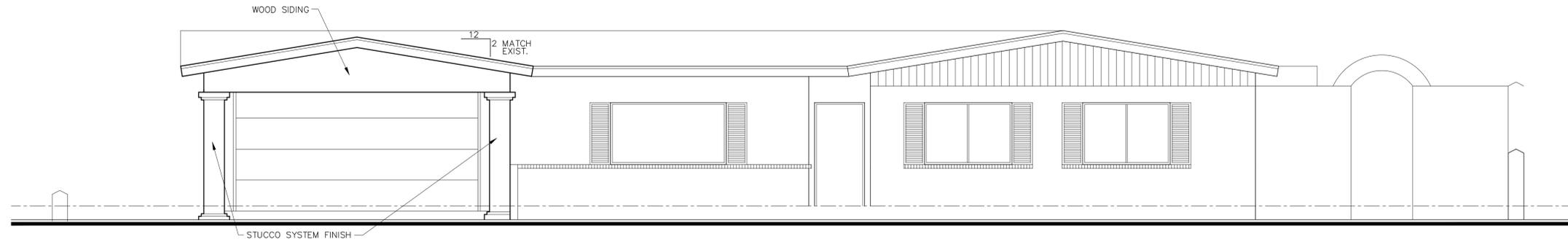
SHEET TITLE
DETAILED SITE DEVELOPMENT PLAN
 1
 SHT. 01 OF 02

TABLE OF DENSITY AND DIMENSIONAL STANDARDS													APPENDIX "B"	
SUBPART A	SUBPART B					SUBPART C					SUBPART D			
	Zoning District	Minimum District Area	Permitted Use (as established in Chapter 20.08)	Minimum Lot Area (square feet)	Minimum Average Lot Width (in feet)	Minimum Lot Depth (in feet)	Other Standards	Minimum Front Yard (in feet)	Minimum Rear Yard (in feet)	Minimum Cumulative Front & Rear Yard Total	Minimum Side Yard (in feet)	Minimum Side Street Yard (in feet)	Minimum Cumulative Side & Side Street Yard Total	Other Standards
R-3	no minimum	single-family dwelling	6,000	60	90	None	20	20	50	5	10	N/A	Accessory structures, see Section 20.10.030	35

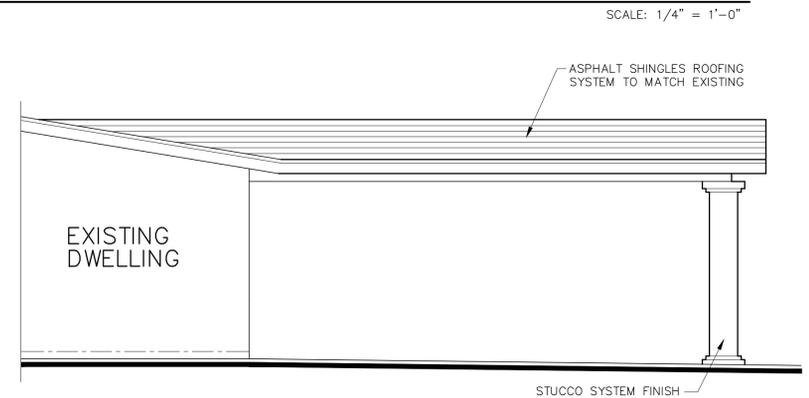


9821 FUCHSIA COURT
DETAILED SITE DEVELOPMENT PLAN
 LANDSCAPE REQUIRED
 9821 FUCHSIA COURT
 LOT 9, BLOCK 154, EASTWOOD HEIGHTS SECTION A,
 CITY OF EL PASO, EL PASO COUNTY, TEXAS

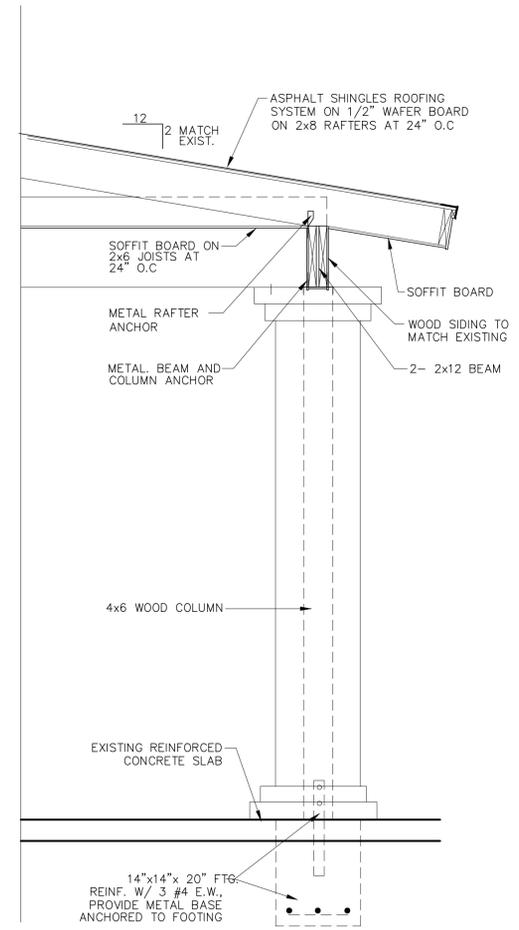
Scale: 1" = 10"



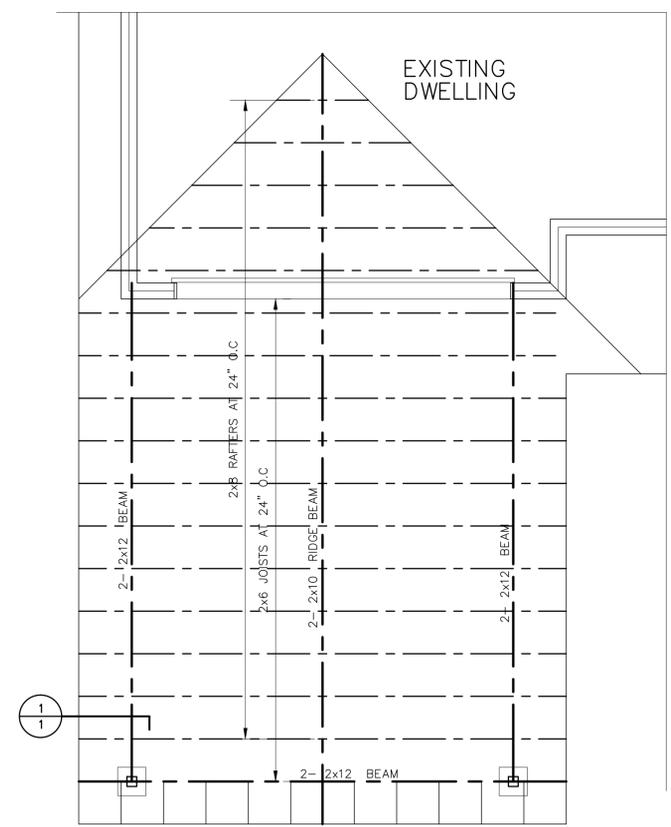
FRONT ELEVATION



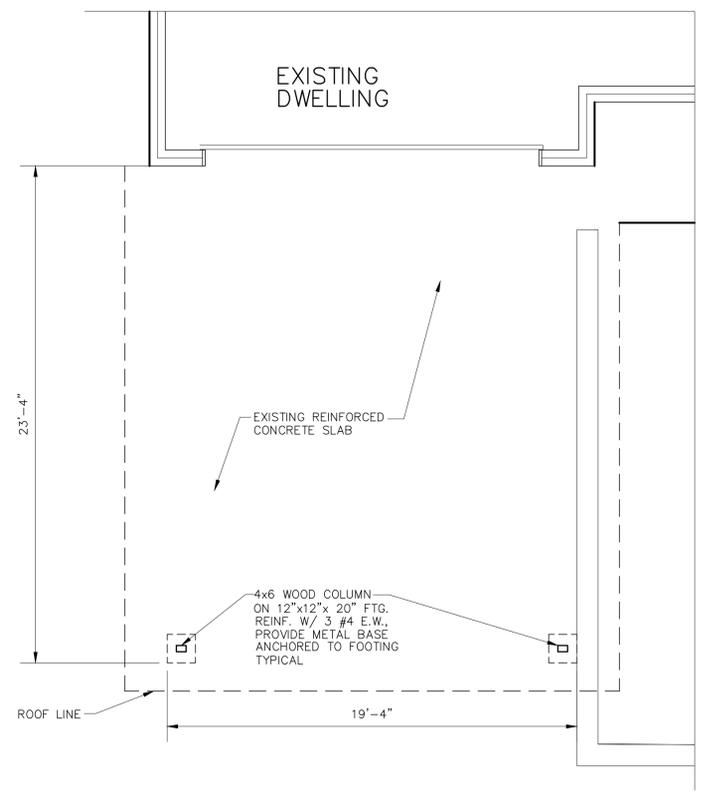
LEFT SIDE ELEVATION



WALL SECTION
SCALE: 3/4" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"



FLOOR / FOUNDATION PLAN
SCALE: 1/4" = 1' - 0"

REVISIONS

PROJECT NUMBER:	DRAWING BY:	DATE:	FILE:
		10-24-16	

OWNER
X X X X X

PROJECT NAME
9821 FUCHSIA CT.
EL PASO, TEXAS

JLJ DESIGNS
CELL (915) 329-4346
9434 VISCOUNT BLVD., STE. 148
EL PASO, TEXAS, 79925

SHEET TITLE
PLANS AND EXTERIOR ELEVATIONS
2
SHT. 02 OF 02