

Applicant requests a Special Exception under Section 2.16.050 K (Carport over a Driveway) in an R-3 zone.

This would permit the existence of a 22' by 22' carport that encroaches in the required front yard setback in an R-3 zone.

The required cumulative front and rear yard setback total is 50' in an R-3 (Light Density Residential) zone.

BACKGROUND

The applicant was cited on November 11, 2008 for building a carport without permit. He is requesting to legalize the carport that is located to within 2'9" of the front property line. There are no utility easements at the front property line. The applicant's plans indicate that the materials used for the carport will match the existing house. The carport rises no higher than the roof of the house. Building Permits & Inspections has reviewed the structural plans and finds them acceptable. Staff has received one phone call in opposition to the carport. The applicant will need to relocate the storage shed located in the side yard.

CALCULATIONS

Permitted carport area = 538 sq. ft. (First floor area under roof = 1,940 + 5 = 388 sq. ft. + 150 sq. ft. permitted front porch)

Carport area proposed to encroach in required front yard setback = 462 sq. ft. (22' x 21')

Required front yard setback = 25'

Requested front yard setback = 2'9"

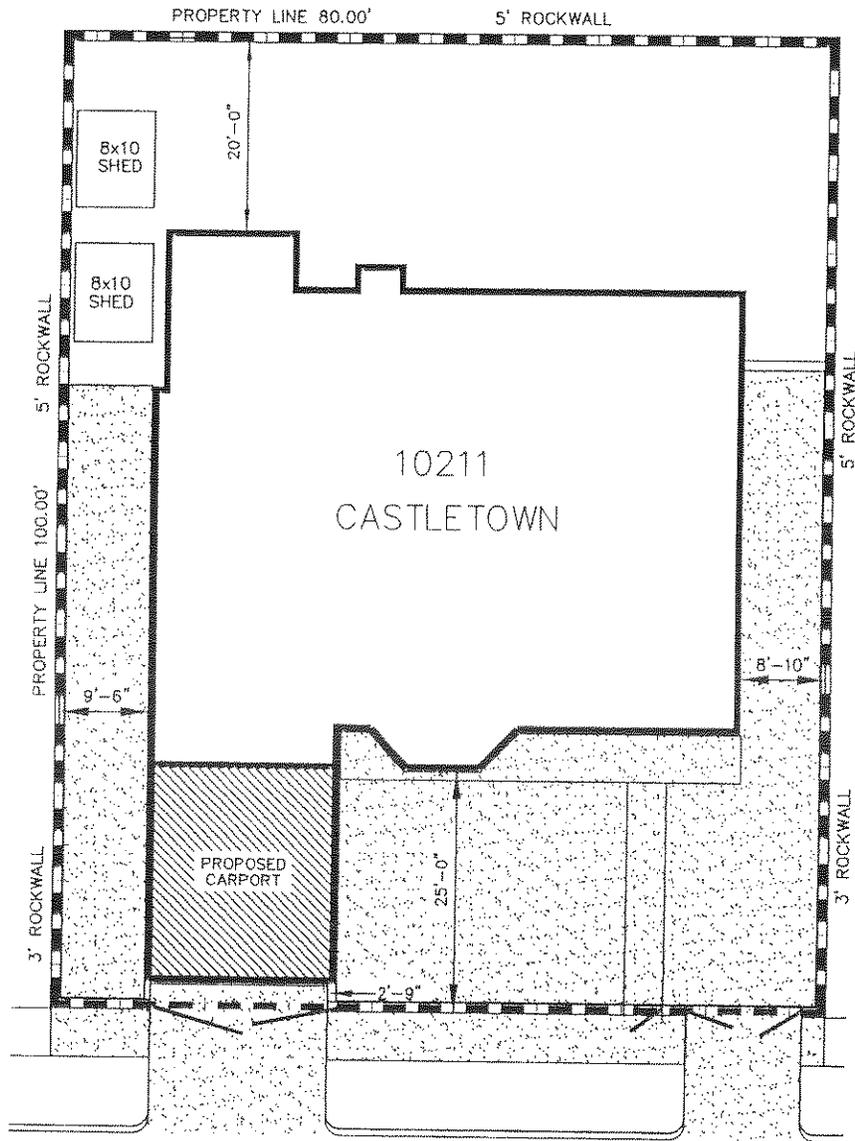
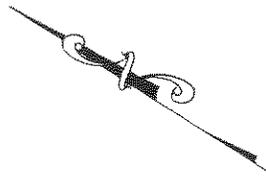
STAFF RECOMMENDATION

Staff recommends approval of the request for the carport as it meets the requirements for the Special Exception, with the condition that the storage shed located in the side yard be removed or relocated to the rear yard.

The Zoning Board of Adjustment is empowered under Section 2.16.050 K to:

"Permit the encroachment into the required front yard setback for a lot in a residential (R) district beyond other allowed modifications for a carport covering a driveway; provided, however, that:

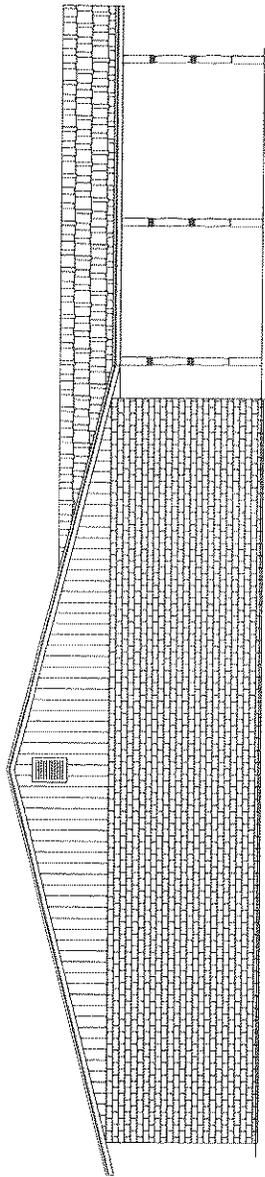
1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The zoning board of adjustment has received the written approval of the structural design from the building permits and inspection division of the development services department; and,
3. The carport shall be constructed of the same material, architectural design, and color scheme as the residential structure, open on three sides, and attached to the main structure; and,
4. The area of the carport shall not exceed one-fifth of the first-floor area of the dwelling, nor shall the carport rise above the highest point of the roof of the dwelling; and,
5. Elevation drawings of the proposed structure shall be submitted; and,
6. For a duplex, the total of all extensions granted shall not exceed one-third the average width of the site, and the total of all extensions for either unit of the duplex shall not exceed two-thirds of the average width of that unit; and,
7. Unless otherwise provided in this chapter, all remaining areas of the required front yard shall be permanent open space; and,
8. There is no other reasonable alternative to provide a carport in the front yard of the subject property without exceeding the encroachments allowed in Title 20 of this code; and,
9. The extension shall not permit the creation of an additional dwelling unit nor shall it constitute an extension of the living area of the dwelling."



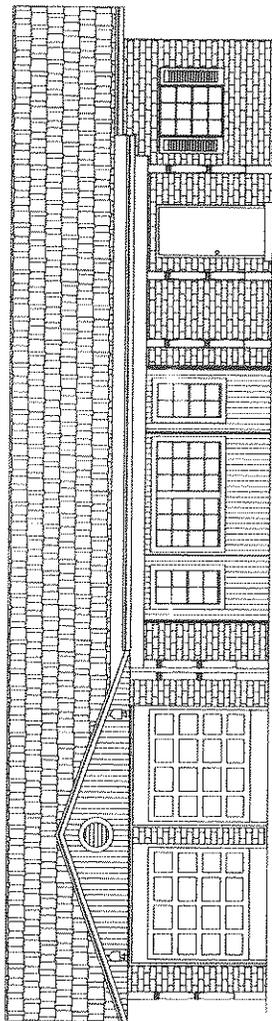
CASTLETOWN

SITE PLAN

SCALE 1"=20'



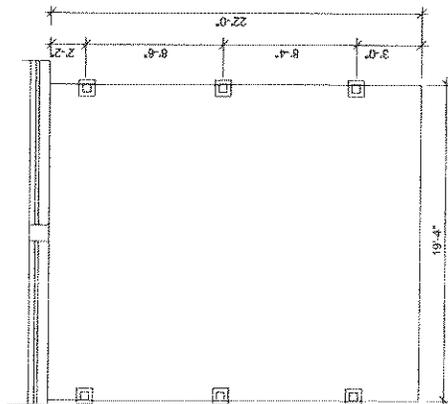
WEST ELEVATION:
SCALE: 3/8" = 1'-0"



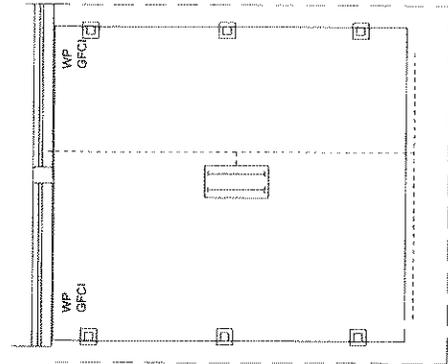
FRONT ELEVATION:
SCALE: 3/8" = 1'-0"



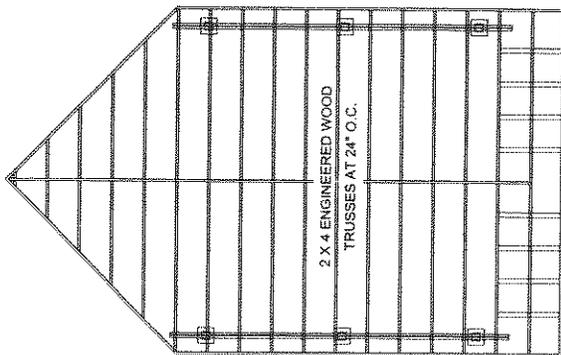
SPOT FOOTING DETAIL:
SCALE: 3/8" = 1'-0"



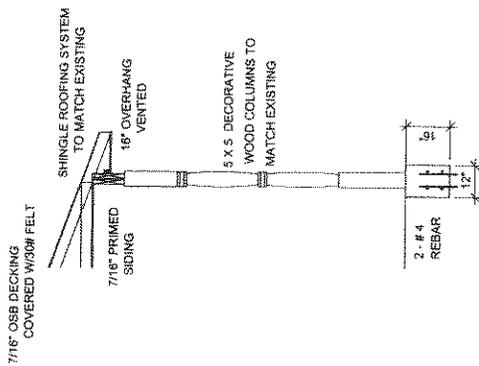
FOUNDATION PLAN:
SCALE: 3/16" = 1'-0"



ELECTRICAL PLAN:
SCALE: 3/16" = 1'-0"



ROOF FRAMING PLAN:
SCALE: 3/16" = 1'-0"



CARPOT/COLUMN DETAIL:
SCALE: 3/8" = 1'-0"

10211 Castletown

JOHN COOK
MAYOR



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CITY MANAGER

VICTOR Q. TORRES
DIRECTOR

DEVELOPMENT SERVICES DEPARTMENT

To: Zoning Board of Adjustments Staff

From: Michael Neligh, Senior Plans Examiner, Building Permits & Inspections

Date: December 2, 2008

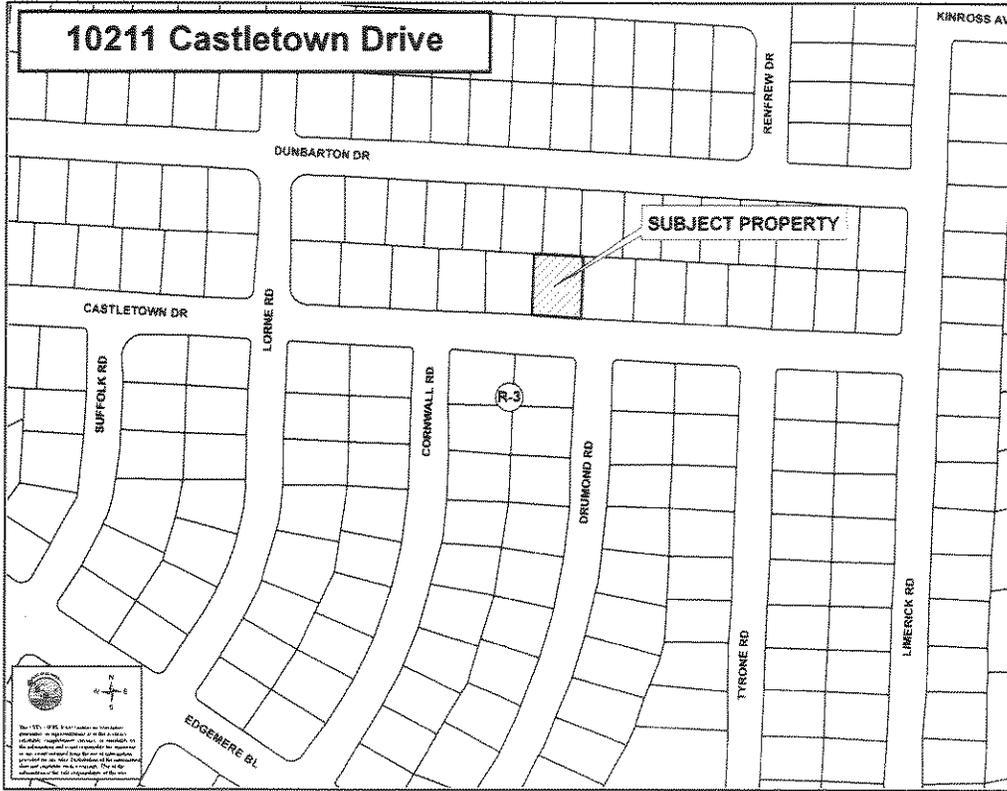
Subject: Case ZBA08-00091, December 8, 2008 Zoning Board of Adjustments Meeting

I have reviewed the plans for ZBA Case, Item #4, located at 10211 Castletown. The applicant is requesting a Special Exception under Title 2.16.050 K for a carport over the driveway.

The carport's structural design has been reviewed and has been found to be acceptable.

This letter is written pursuant to Title 2.16.050.5 and provides written approval for the carport design based upon structural design considerations from the Building Permits and Inspections Section of Development Services.

ZONING MAP



NOTIFICATION MAP

