

Applicant is appealing an Administrative Official's Decision under Section 2.16.040 in a C-4 (Commercial/Regional Commercial District) zone.

The Applicant has filed an Appeal of an Administrative Official's Decision (**Sign Ordinance**) with the Zoning Board of Adjustment under Section 2.16.040, Appeals, concerning property located at 7935 Artcraft Road in a C-4 (Commercial) zone.

BACKGROUND

The applicant submitted a sign permit request for three wall signs for a new Holiday Inn Express. The request has been denied by the Zoning Administrator, and the applicant is appealing the denial.

Applicant's Statement

The applicant has been requested to submit a letter explaining reasons for appeal.

City's Statement

The applicant submitted plans for a sign permit to the City on November 23, 2009, for three wall signs and a pole sign. The plans failed zoning review because there are two street frontages for the hotel, on Artcraft Road and Berringer Drive, and one wall sign is permitted per street frontage, for a total of two permitted wall signs, per Section 20.18.450 D of the El Paso Municipal Code:

20.18.450 C-2, C-3, C-4, Q, M-1, M-2 and M-3 districts

D. Wall signs shall comply with the following requirements:

- 1. Permit required: yes;*
- 2. Maximum number: one wall sign for each tenant in a single or multi-tenant facility per street frontage; for apartments, one wall sign for each apartment complex per street frontage and public entryway, not to exceed four signs per complex;*
- 3. Maximum sign area: forty percent of the building facade on each elevation, including any canopies or awnings;*
- 4. Location: shall not project more than eighteen inches from the face of the wall or the surface of the canopy or awning; shall be erected in such a manner that building fenestration is not obscured and the architectural integrity of the building is not altered; shall not extend beyond the edges of the structure;*
- 5. Illumination: internal or indirect; may not be flashing or intermittent.*

STAFF RECOMMENDATION

No recommendation.

The Zoning Board of Adjustment is empowered under Section 2.16.040, Appeals, to:

Hear and decide appeals where it is alleged there is error in any order, requirement, decision or determination made by an administrative official in the enforcement of Title 20. In exercising these powers the board may, in conformity with the state act and this chapter, reverse or affirm, wholly or partly, or may modify the order, requirement, decision or determination appealed from and may make such order, requirement, decision or determination as ought to be made, and to that end shall have all the powers of the officer from whom the appeal is taken.

Also, note the following in Section 2.16.020, Powers:

- B. The concurring vote of seven members of the board shall be necessary to reverse any order, requirement, decision or determination of any such administrative official, or to decide in favor of the applicant on any matter upon which it is required to pass under Title 20 of this code, or to effect any variation in requirements of Title 20.



SUPERIOR SIGN & LIGHTING LTD.



December 7, 2009

Corporate Office:

11445 Cedar Oak
El Paso, TX 79936
(915) 629-9100

New Mexico Branch:

2001 E. Lohman 110-286
Las Cruces, NM 88001
(505) 541-4595

1-800-530-8699 • Fax (915) 629-9105

TX LIC ES 100

NM LIC 88504

City of El Paso
2 Civic Center Plaza, 5th floor
El Paso, Tx. 79901

Att'n: Fred Lopez, ACIP
Lead Planner
Development Services Dept. / Planning Division

Re; ZBA09-00050
Holiday Inn
7935 Artcraft Dr. El Paso, Tx.

We respectfully request the consideration to approve one (1) additional building sign on the south elevation facing Artcraft.

When the building drawings were originally planned, it included three (3) building signs, but since that time the city sign code has been adjusted to only one building sign per elevation with a street. It is understood that the current sign code only allows for two (2) building signs which are already under city permit.

Holiday Inn carries a national image package that normally includes signs on at least three elevations specially since this particular building is four (4) stories high.

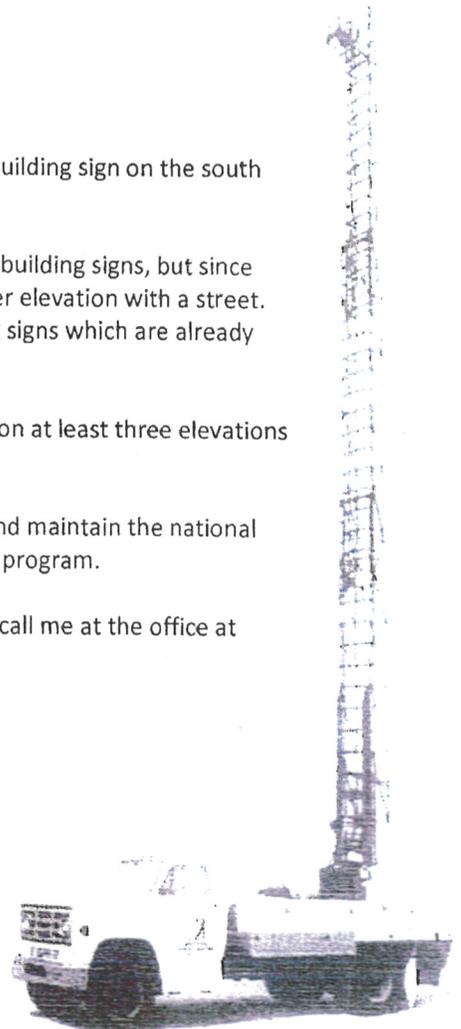
If this third sign is approved, the building will be balanced and will keep and maintain the national image that Holiday Inn is presenting in the marketplace in this re-imaging program.

Thank you for your consideration. Should you have any questions, please call me at the office at 629-9100 or mobile 491-4295.

Sincerely


Martin Gonzalez
Superior Sign & Lighting

www.Superiorsign.info



Sign 2-4
7'-1" 18'-1 1/2"
128 Sq. Ft.

Reg. symbol is flat cut aluminum, painted, w/ film decoration. See "Reg. Symbol Fab. Drawing & Notes."

18'-1 1/2"



Holiday Inn
Express
& Suites

GREEN TRIM CAP AND RETURNS.

BLUE TRIM CAP AND RETURNS.

7'-1"

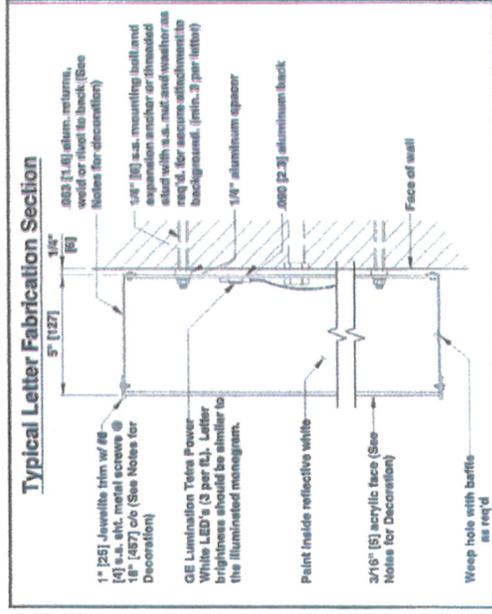
DAY TIME VIEW - LIGHT COLOR FASCIA

INTERNALLY ILLUMINATED CHANNEL LETTERS AND MONOGRAM TO BE INDIVIDUALLY MOUNTED ON THE FASCIA.

NIGHT VIEW - MONOGRAM STAYS THE SAME, "HOLIDAY INN" STAYS GREEN, "EXPRESS & SUITES" - GOES WHITE.

NOTE:

1. On dark colored buildings, "Holiday Inn" letters faces are 7328 white acrylic w/ green trans film applied second surface (white day/green night). "Express & Suites" letters are 7328 white acrylic (white day & night).
2. See color & materials specifications drawing for decoration & material information.
3. Registration symbol is not required for lettersets above the 4th floor.



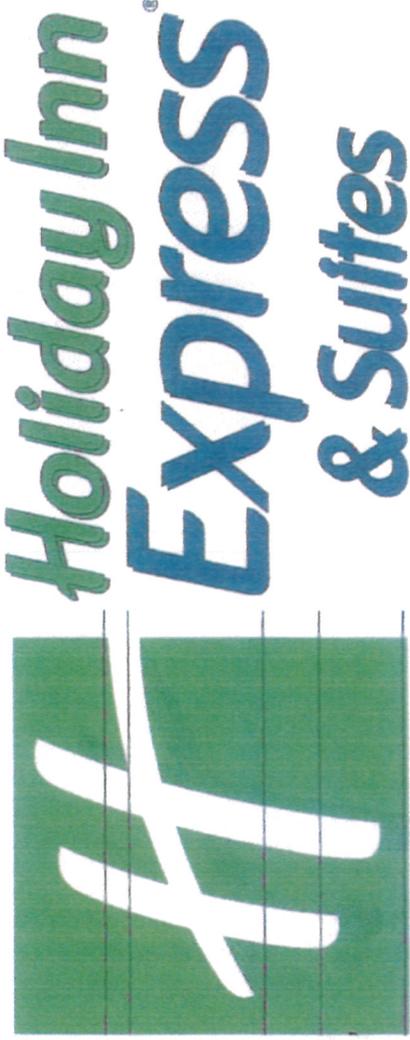
Art is Not to Scale But is Proportional to Actual Field

	Customer: Holiday Inn	Location: 7935 Aircraft Rd. El Paso, TX	Client Approval:	Salesperson Approval:	Date: Nov/25/2009
	PLEASE COPY THIS ART AND INFORMATION TO ALL OF YOUR VENDORS. THIS INFORMATION IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ALL RIGHTS RESERVED.				

Sign 3
8'-1" x 20'-8"
167 Sq. Ft.

Reg. symbol is flat cut aluminum, painted, w/ film decoration. See "Reg. Symbol Fab. Drawing & Notes."

20'-8"



GREEN TRIM CAP AND RETURNS.

BLUE TRIM CAP AND RETURNS.

8'-1"

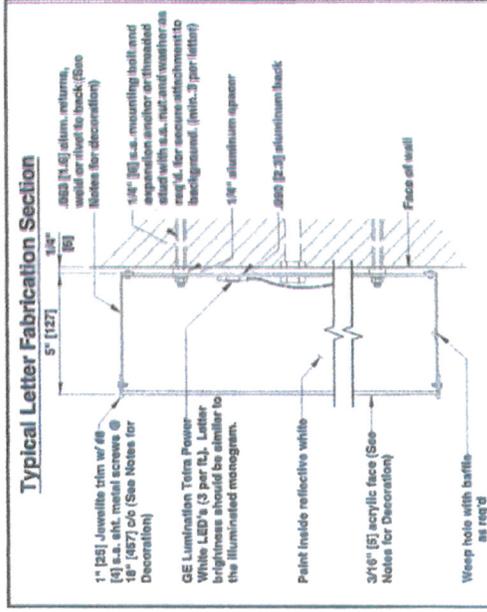
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Art is Not to Scale But is Proportional to Actual Build

UNDER U.S. LAW, ANY AND ALL RIGHTS ARE RESERVED BY SUPERIOR SIGN & LIGHTING LTD. FOR THE DESIGN, DEVELOPMENT, MANUFACTURE AND SALE OF ANY AND ALL PRODUCTS AND SERVICES PROVIDED BY SUPERIOR SIGN & LIGHTING LTD. TO ANY AND ALL CLIENTS.

Date: **Nov/25/2009**

Client Approval

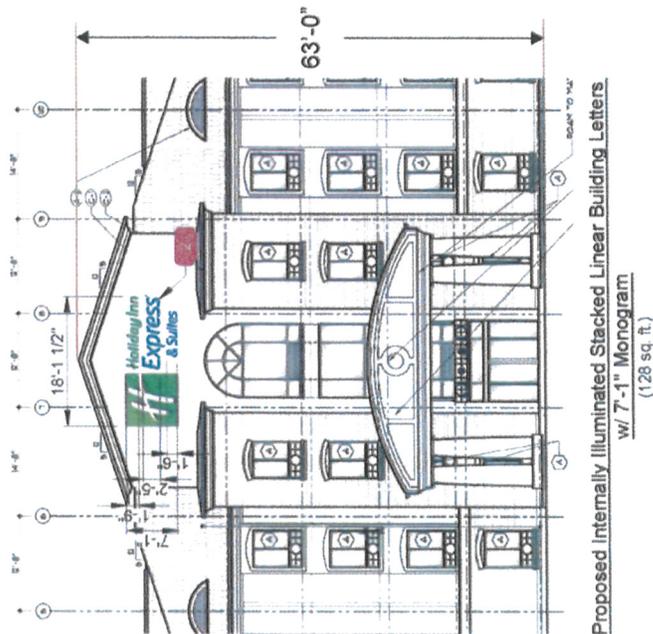
Self-insure Approval

Location: **7935 Arcraft Rd. El Paso, TX**

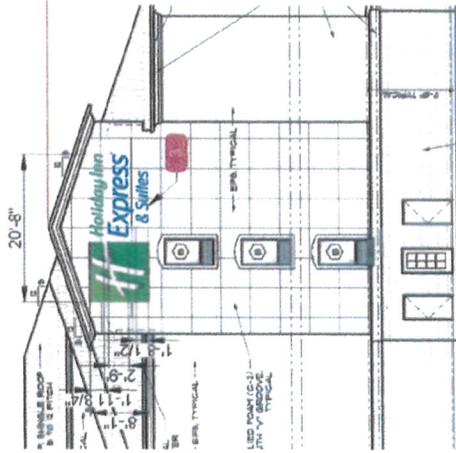
Customer: **Holiday Inn**



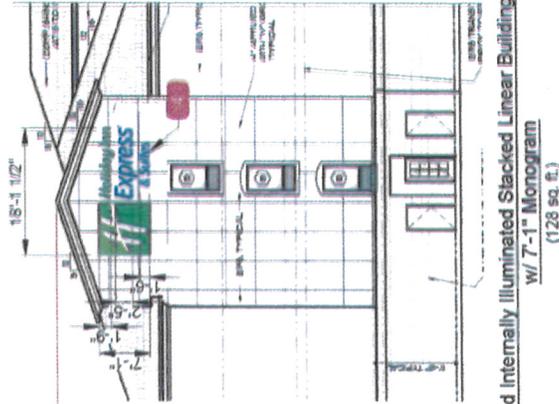
Elevations



Proposed Internally Illuminated Stacked Linear Building Letters
w/ 7'-1" Monogram
(128 sq. ft.)



Proposed Internally Illuminated Stacked Linear Building Letters
w/ 8'-1" Monogram
(187 sq. ft.)



Proposed Internally Illuminated Stacked Linear Building Letters
w/ 7'-1" Monogram
(128 sq. ft.)



Customer

Holiday Inn

Location

7955 Aircraft Rd.

El Paso, TX

Client Approval

Salesperson Approval

Date

Nov / 23 / 2009

Art is Not to Scale But is Proportional to Actual Building

UNLESS OUR COPY BOOK LISTS AN ILLUSTRATED USE AND/OR DIMENSION OF THIS DRAWING WITHOUT WRITTEN PERMISSION FROM SUPERIOR SIGN, YOU MAY NOT REPRODUCE OR TRANSMIT THIS DRAWING FOR THE FULL REPRODUCTION RIGHTS IN THE DRAWING. OUR POLICY IS TO PROTECT OUR TRADE SECRETS.



Legend:

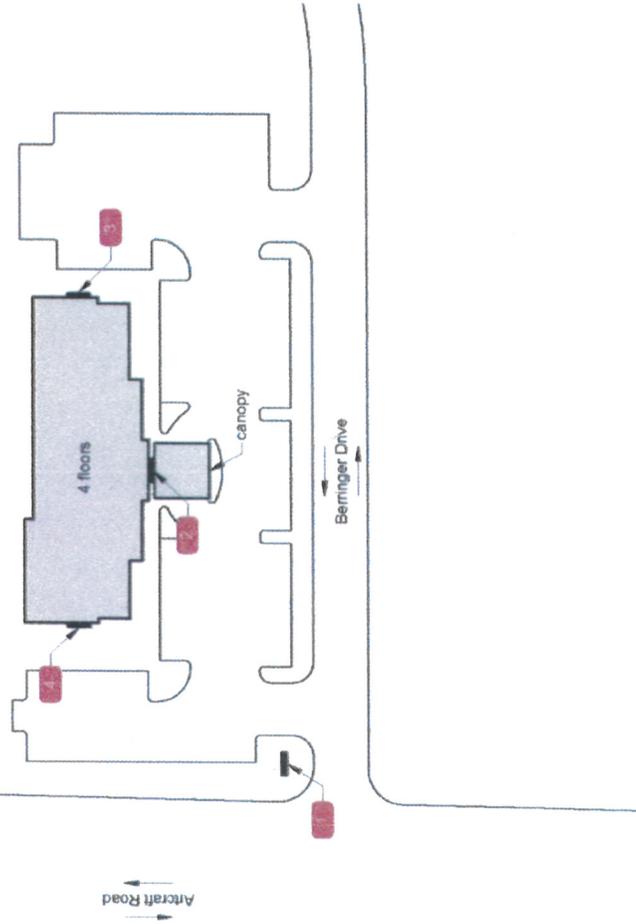
- Camera Position
- 1 Photograph Number
- Sign Number

Existing Signs

No Existing Signs

Recommendations

- New XPS-52-20 Pylon, 5'-0" 1/2" x 10'-3", 20' Overall HT
- New XLS-SLM-7D Building Letters, Linear Stacked, w/7'-1" Monogram, Dark Faces
- New XLS-SLM-8D Building Letters, Linear Stacked, w/8'-1" Monogram, Dark Faces
- New XLS-SLM-7D Building Letters, Linear Stacked, w/7'-1" Monogram, Dark Faces

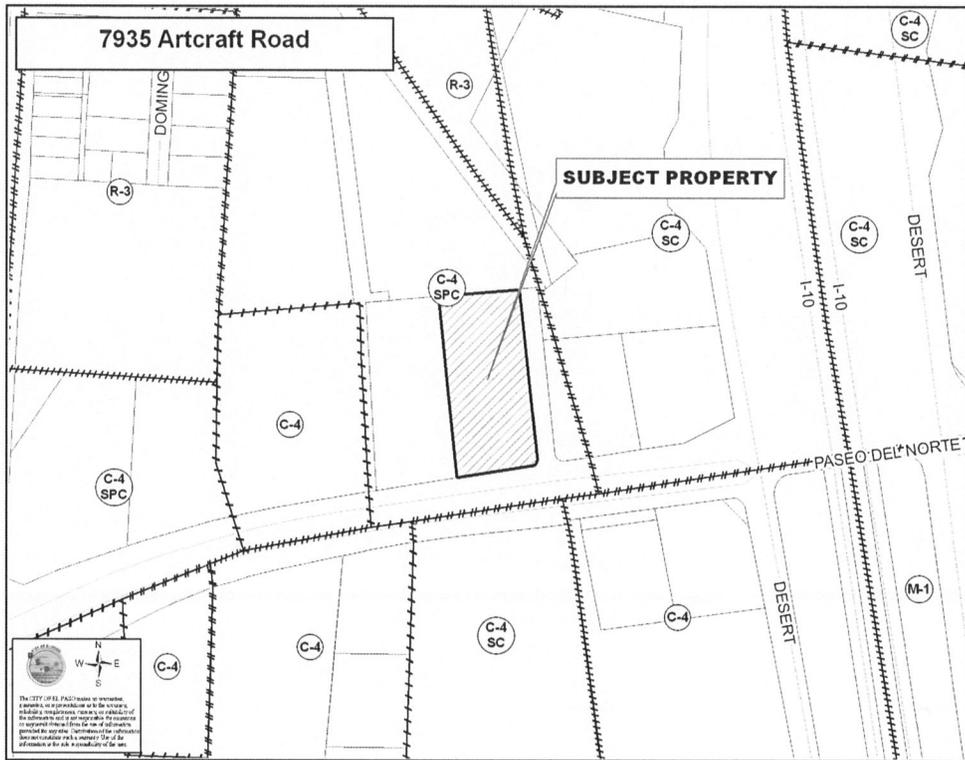


Art is Not to Scale Plus in Proportionate to Actual Building

LOOKING FOR LIGHT LINES AND SIGNAGE? WE CAN HELP YOU FIND THE RIGHT SOLUTION FOR YOUR BUSINESS. WE CAN HELP YOU FIND THE RIGHT SOLUTION FOR YOUR BUSINESS. WE CAN HELP YOU FIND THE RIGHT SOLUTION FOR YOUR BUSINESS.

Customer	Holiday Inn
Location	7955 Antcraft Rd, El Paso, TX
Client Approval	
Scale/owner Approval	
Date:	Nov/ 25 / 2009

ZONING MAP



NOTIFICATION MAP

