

**Applicants request a Special Exception under Section 2.16.050 C (Rear Yard Setback) in an R-1 (Residential) zone.**

This would permit a 60'10" by 30' addition that is proposed to encroach 30' into the required rear yard setback.

The required front and rear yard cumulative setback total is 100 feet for a single-family residence in the R-1 zone district.

**BACKGROUND**

The applicants are proposing extensive remodeling of this property and are requesting an addition that will encroach into the required rear yard setback and is proposed to be located to within 20 feet of the rear property line. The ZBA granted a Special Exception on March 14, 2005, for existing encroachments into the front yard setback. On January 28, 2008, the ZBA granted a Special Exception to encroach into the rear yard setback for additions that totaled 60 feet in width and were proposed to be located to within 20 feet of the rear property line. The applicant never submitted for building permit to build these additions. They are now requesting a 60'10" wide addition.

**CALCULATIONS**

1/3 average lot width = 61.44' (184.32' ÷ 3)

Required rear yard setback = 50'

Requested rear yard setback = 10'

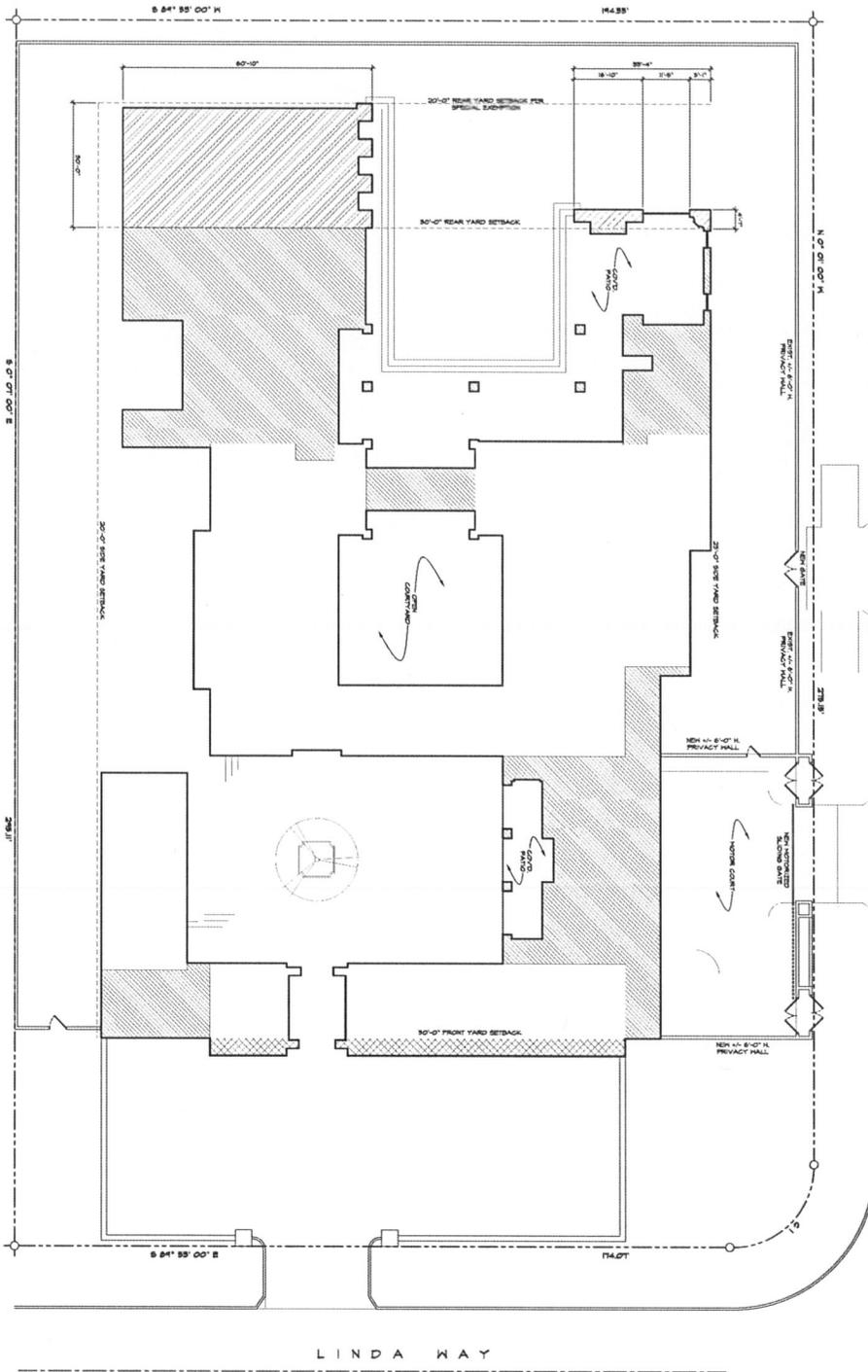
**STAFF RECOMMENDATION**

Staff recommends approval of the request as it meets the requirements of the Special Exception.

The Zoning Board of Adjustment is empowered under Section 2.16.050 C to:

"Permit an extension of a single-family residential structure into the required rear yard, which shall be measured to the rear property line, not to the centerline of the alley, if one exists; provided, however, that:

1. The residence has been in existence and owner occupied for one continuous year, and has a valid certificate of occupancy; and,
2. The total of all extensions granted shall not project into the required rear yard for a depth in excess of three-fifths of the required yard, except that a minimum ten foot rear yard setback shall be required; and,
3. The total width of all extensions granted shall not exceed one-third of the average width of the site; and,
4. The minimum side and side street yards shall not be reduced; and,
5. The total floor area of all detached accessory structure(s) existing or later constructed on the site shall not exceed one hundred eighty square feet; and,
6. Unless otherwise provided in this section, all remaining areas of the required rear yard shall be permanent open space; and,
7. The extension shall not permit the creation of an additional dwelling unit."



1 SITE PLAN  
Scale: 1/8\"/>

LEGAL DESCRIPTION
FRONT 1/2 OF LOT 24 & 1/4 S.W. 1/4 OF LOT 25, BLOCK 1, SUBDIVISION 1, COUNTY OF EL PASO, TEXAS

MONTONYA DRIVE

LINDA WAY

LEGEND	
[Pattern]	NEW ADDITION 3481 SF
[Pattern]	EXISTING UNDEVELOPED CONSTRUCTION 3481 SF
[Pattern]	REMOVAL AND RECONSTRUCTION INTO SETBACK 3481 SF
[Pattern]	NEW ADDITION RECONSTRUCTION INTO SETBACK 1344 SF
[Pattern]	CONCRETE AND PAVEMENT INTO SETBACK 88 SF
[Pattern]	EXISTING RECONSTRUCT 1500 SF
TOTAL BUILDING SQ. FT. 17284 SF	
TOTAL IMPROVEMENT AREA 8728 SF	

FOR ZBA APPROVAL ONLY

A1.1



REMODEL RESIDENCE FOR THE SCHWARTZ FAMILY  
616 LINDA WAY EL PASO, TEXAS 79922

NO.	DATE	DESCRIPTION

REVISIONS

# ZONING MAP



# NOTIFICATION MAP

