

*Dedicated to Outstanding Customer Service for a Better Community*

S E R V I C E   S O L U T I O N S   S U C C E S S



**OPEN SPACE ADVISORY BOARD**  
Thursday, September 16, 2010, 1:30 P.M.  
4<sup>th</sup> Floor, Large Conference Room  
City Hall, 2 Civic Center Plaza

### AGENDA

1. **Meeting Called to Order**
2. **Approval of Minutes:** September 2, 2010
3. **Call to the public** (for items not on the agenda)
4. **Discussion and Action:** Review and comment on current rezoning applications, as indicated below:

Zoning Condition Release and Amendment

- a. **ZON10-00076:**      Parcels 1-9 All of Westport Unit Five, City of El Paso, El Paso County, Texas; A portion of Tracts 10B and all of Tract 10B3, Nellie D. Mundy Survey 239, City of El Paso, El Paso County, Texas; A portion of Tract 10B, Nellie D. Mundy Survey 239, City of El Paso, El Paso County, Texas; A portion of Tract 10B, Nellie D. Mundy Survey 239, Tract 2, Nellie D. Mundy Survey 240, Hoover Avenue and Northwestern Drive and all of Westport Unit Five and Westport Unit Seven Amending Subdivision, City of El Paso, El Paso County, Texas; A portion of Tracts 10A and 10E, Nellie D. Mundy Survey 239, City of El Paso, El Paso County, Texas; All of Tract 10B3, Nellie D. Mundy Survey 239, City of El Paso, El Paso County, Texas; All of Lot 1A, Block 3, Westport Unit Three, City of El Paso, El Paso County, Texas; All of Lot 1, Block 3, Westport Unit Three, City of El Paso, El Paso County, Texas; A 7.590 acre portion of Tract 2D, Nellie D. Mundy Survey 243 and Resler Drive right-of-way, City of El Paso, El Paso County, Texas; A 22.230-acre portion of Tract 2D, Nellie D. Mundy Survey 243 and Tract 10B4, Nellie D. Mundy Survey 239, City of El Paso, El Paso County, Texas; A 24.951-acre portion of Tract 2E, Nellie D. Mundy Survey 243 and Resler Drive right-of-way, City of El Paso, El Paso County, Texas; An 8.340-acre portion of Tract 2C, Nellie D. Mundy Survey 243, City of El Paso, El Paso County, Texas; An 8.904-acre portion of Tract 1D, Nellie D. Mundy Survey 243, City of El Paso, El Paso County, Texas; A 39.089-acre portion of Tract 1A1, Nellie D. Mundy Survey 243, City of El Paso, El Paso County, Texas; A

Mayor  
John F. Cook

City Council

*District 1*  
Ann Morgan Lilly

*District 2*  
Susie Byrd

*District 3*  
Emma Acosta

*District 4*  
Carl L. Robinson

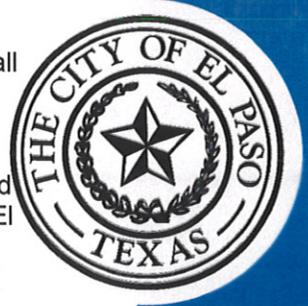
*District 5*  
Rachel Quintana

*District 6*  
Eddie Holguin Jr.

*District 7*  
Steve Ortega

*District 8*  
Beto O'Rourke

City Manager  
Joyce A. Wilson



portion of Tracts 10C, 10D, 10E1 and 12A and all of Tracts 9 and 11, Nellie D. Mundy Survey No. 239, and all of Lot 1, Block 2, Transwest Subdivision Unit One, City of El Paso, El Paso County, Texas; A portion of Tracts 10C, 10D and 10E1, Nellie D. Mundy Survey No. 239, City of El Paso, El Paso County, Texas.

Location: East of I-10 and approximately 2 miles east and adjacent to Transmountain Road  
 Request: Zoning Condition Release and Amendment for Ordinance No. 9364, 15708, 16241 and 10052  
 Zoning: C-3/c (Commercial/conditions), C-4/c (Commercial/conditions), C-4/sc (Commercial/special contract), and C-4/sc/sp (Commercial/special contract/special permit)  
 Existing Use: Convenience Store/Restaurant, Vacant  
 Property Owner: Transmountain Development Company LP, Hunt El Paso Investment LTD, Westport Improvement Association, Plexxar Capital LTD, Hill 262 Partners LTD, Plexxar North LTD, RVE Unit 18 LTD, George Duncan (TR), and Transmountain Investors LTD.  
 Representative: City of El Paso  
 District: 1  
 Application Type: Zoning Condition Release or Amendment  
 Staff Contact: Arturo Rubio, 915-541-4633, [rubioax@elpasotexas.gov](mailto:rubioax@elpasotexas.gov)

5. **Discussion and Action:** Review and comment on current subdivision applications, as indicated below:

Resubdivision Combination

a. **SUB10-00181** Kern View Estates #2 -Being a replat of Lots 11A, 13A, 15A, 16A and a portion of 17A, Block 9, Mission Hills Addition and Tracts 4B and 4D, M.J. McKelligon Survey 270, City of El Paso, El Paso County, Texas.

Location: East of Stanton Street and North of San Mateo Lane  
 Property Owner: Piedmont Group, LLC  
 Representative: CEA Group  
 District: 1  
 Staff Contact: Michelle Padilla, (915) 541-4903, [padillamx@elpasotexas.gov](mailto:padillamx@elpasotexas.gov)

6. **Discussion and action** on an Ordinance amending Title 19 (Subdivisions), Appendix 111 (Mountain Area Defined) of the El Paso City Code to delete a portion of Mountain Area within the Mountain Development Area (MDA). The penalty is as provided for in Section 19.42 of the El Paso City Code. Staff Contact: Raul Garcia, (915)541-4935, [garciar1@elpasotexas.gov](mailto:garciar1@elpasotexas.gov)

Mayor  
John F. Cook

City Council

District 1  
Ann Morgan Lilly

District 2  
Susie Byrd

District 3  
Emma Acosta

District 4  
Carl L. Robinson

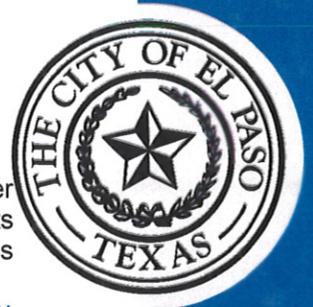
District 5  
Rachel Quintana

District 6  
Eddie Holguin Jr.

District 7  
Steve Ortega

District 8  
Beto O'Rourke

City Manager  
Joyce A. Wilson



7. **Discussion and Information:** Presentation on how to read and interpret plats by Subdivision section staff, Planning and Economic Development.  
Staff Contact: Eddie Garcia, (915) 541-4638, [GarciaEZ2@elpasotexas.gov](mailto:GarciaEZ2@elpasotexas.gov)
8. **Discussion and Action:** Amend Bylaws to change OSAB meetings to every other Wednesday on the alternate week that the City Planning Commission (CPC) meets on to allow for comments made at each meeting to be included in the materials sent to CPC as part of regular staff reports.  
Staff Contact: David A. Coronado, (915) 541-4632, [CoronadoDA@elpasotexas.gov](mailto:CoronadoDA@elpasotexas.gov)
9. **Discussion:** Items for Future Agendas
10. **Adjournment**

#### EXECUTIVE SESSION

The Open Space Advisory Board of the City of El Paso may retire into EXECUTIVE SESSION pursuant to Section 3.5A of the El Paso City Charter and the Texas Government Code, Chapter 551, Subchapter D, to discuss any of the items on this agenda, consistent with the terms of the Open Meetings Act. The Open Space Advisory Board will return to open session to take any final action.

Section 551.071 CONSULTATION WITH ATTORNEY  
Section 551.072 DELIBERATION REGARDING REAL PROPERTY  
Section 551.073 DELIBERATION REGARDING PROSPECTIVE GIFTS  
Section 551.074 PERSONNEL MATTERS  
Section 551.076 DELIBERATION REGARDING SECURITY DEVICES  
Section 551.087 DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS

Posted this 9 day of September 2010 at 9:30, City Hall, 2 Civic Center Plaza, by Armida R. Martinez, Administrative Assistant, Planning and Economic Development.

Mayor  
John F. Cook

#### City Council

*District 1*  
Ann Morgan Lilly

*District 2*  
Susie Byrd

*District 3*  
Emma Acosta

*District 4*  
Carl L. Robinson

*District 5*  
Rachel Quintana

*District 6*  
Eddie Holguin Jr.

*District 7*  
Steve Ortega

*District 8*  
Beto O'Rourke

City Manager  
Joyce A. Wilson




---

## ADVISORY BOARD MINUTES

---

September 2, 2010  
 City Hall – 4<sup>th</sup> Floor, 1:30 P.M.  
 Engineering Small Conference Room  
 2 Civic Center Plaza, El Paso, Texas

**Members Present: 6**

Charles S. Wakeem, Lois Anne Balin, James H. Tolbert, Bill Addington, Kevin T. von Finger, Robert Ardovino.

**Members Absent: 1**

Luis Ruiz

**Member Vacancies: 1**

**Ex-Officio Members Present:** Gonzalo Cedillos

**Planning and Economic Development Staff Present:**

Mathew McElroy, Deputy Director; Philip Etiwe, Development Review Manager; Michelle Padilla, Planner; Todd Taylor, Planner; Lupe Cuellar, Assistant City Attorney, Legal Department; Eddie Garcia, Lead Planner; David Coronado, Senior Planner.

**Others Present:**

Nanette Smejkal, Parks and Recreation Director; Shamori R. Whitt, Open Space, Trails & Parks Coordinator; Rudy Valdez, EPWU; Richard Garcia, Park Development Manager, Parks and Recreation; Sam Rodriguez, Engineering Division Manager, Engineering Department; Jorge Azcarate, CEA; Efrain Esparza, TX Dot, Tony Uribe, TX Dot, Justin Chapman, Hunt; Heather McMurray; Trish Tanner, Jobe.

1. Meeting Called to Order

Chair Charles Wakeem called the meeting to order at 1:45 p.m.

*Mr. Kevin T. von Finger arrived at 2:05 p.m.*

2. Approval of Minutes: September 2, 2010

*Motion by James H. Tolbert to approve the minutes. Second by Lois Anne Balin. Motion carried (unanimous).*

3. Call to the Public (for items not listed on the agenda)

*None.*

4. Discussion and Presentation: Relations between the City of El Paso and the Texas Water Development Board, as they relate to the purview of the Open Space Advisory Board, by TWDB Representative.

*Item deleted with instructions to staff to add item back to future agenda when TWDB representative is available to attend OSAB meeting.*

5. Discussion and Information: TxDOT's proposed Transmountain zoning amendment and zoning change in the Planning Mountain Development (PMD).

*OSAB members made a request that the City Manager consider expanding, if possible, the Dover, Kohl & Partners' contract and scope of work to include a review of the Texas Department of Transportation's design for Transmountain to make its recommendation before City Council approves the TxDOT plan. (Motion by Bill Addington. Second by Lois Anne Balin. Motion carried (unanimous).)*

6. Discussion and Information: Presentation on the conditions of the zoning contract affecting the Mountain Development Area (MDA) between the City of El Paso, Hunt and Plexar that was originated between 2003 to 2005.

*No comments. No action taken.*

7. Discussion and Information: Clarification on Open Meetings by Legal Department

*No action taken.*

8. Discussion and Action: Appointment of subcommittee to review and make recommendations on revisions to the grading ordinance contained in City Code Section 18.44

*Mr. Sam Rodriguez, Engineering Division Manager, will help coordinate a meeting with the OSAB subcommittee the week of September 6th, 2010 to present and discuss the proposed changes to the current Grading Ordinance.*

9. Discussion and Action: Review and comment on current subdivision applications, as indicated below:

- a. SUB10-00169      The Falls at Cimarron Unit 1 – Being a portion of Tracts 3B and 3B1, Nellie D. Mundy Survey 242, El Paso, El Paso County, Texas
- Location:            North of Northern Pass and East of Resler  
Property Owner:    Cimarron Hunt Companies  
Representative:    Kimley-Horn and Associates  
District:             1  
Staff Contact:       Michelle Padilla, (915) 541-4903, [padillamx@elpasotexas.gov](mailto:padillamx@elpasotexas.gov)

*Motion by Kevin T. von Finger to accept as presented. Second by James H. Tolbert. Motion carried 4 to 2. Robert Ardovino and Bill Addington opposed the motion.*

Major Preliminary

- b. SUB10-00061 Desert Sprints Unit 1 – Being a portion of Nellie D. Mundy Survey No. 238, No. 239 and No. 244, Tract 8, Lot 10A, 10E, 12, 13 City of El Paso, El Paso County, Texas
- Location: East of Interstate Highway-10 and North of Transmountain Road
- Property Owner: RVE 18, LTD
- Representative: CEA Group
- District: 1
- Staff Contact: Frank Delgado, (915) 541-4238, [delgadofx@elpasotexas.gov](mailto:delgadofx@elpasotexas.gov)

*Motion by Bill Addington to deny as presented .No second. Motion failed.*

*Motion by Kevin T. von Finger to accept as presented. Second by James H. Tolbert. Motion carried 5 to 1. Bill Addington opposed the motion.*

- c. SUB10-00062 Desert Springs Unit 3 – Being a portion of Nellie D. Mundy Survey No. 239, Lot 10A, 10E, City of El Paso, El Paso County, Texas
- Location: North of Transmountain Road and East of Northwestern Drive
- Property Owner: RVE 18, LTD
- Representative: CEA Group
- District: 1
- Staff Contact: Frank Delgado, (915) 541-4238, [delgadofx@elpasotexas.gov](mailto:delgadofx@elpasotexas.gov)

*Motion by Robert Ardivino to accept as presented. Second by Lois Anne Balin.. Motion carried 5 to 1. Bill Addington opposed the motion.*

10. Discussion, Information and Action: Recommendation to City Council regarding PSB policy on use of Stormwater Funds for Open Space pursuant to Ordinance No. 016668 and update from the Stormwater Utility to the Open Space Advisory Board on the current budget status of the “10% funds” for open space and greenway projects and project eligibility

*No action needed.*

11. Discussion: Items for Future Agendas

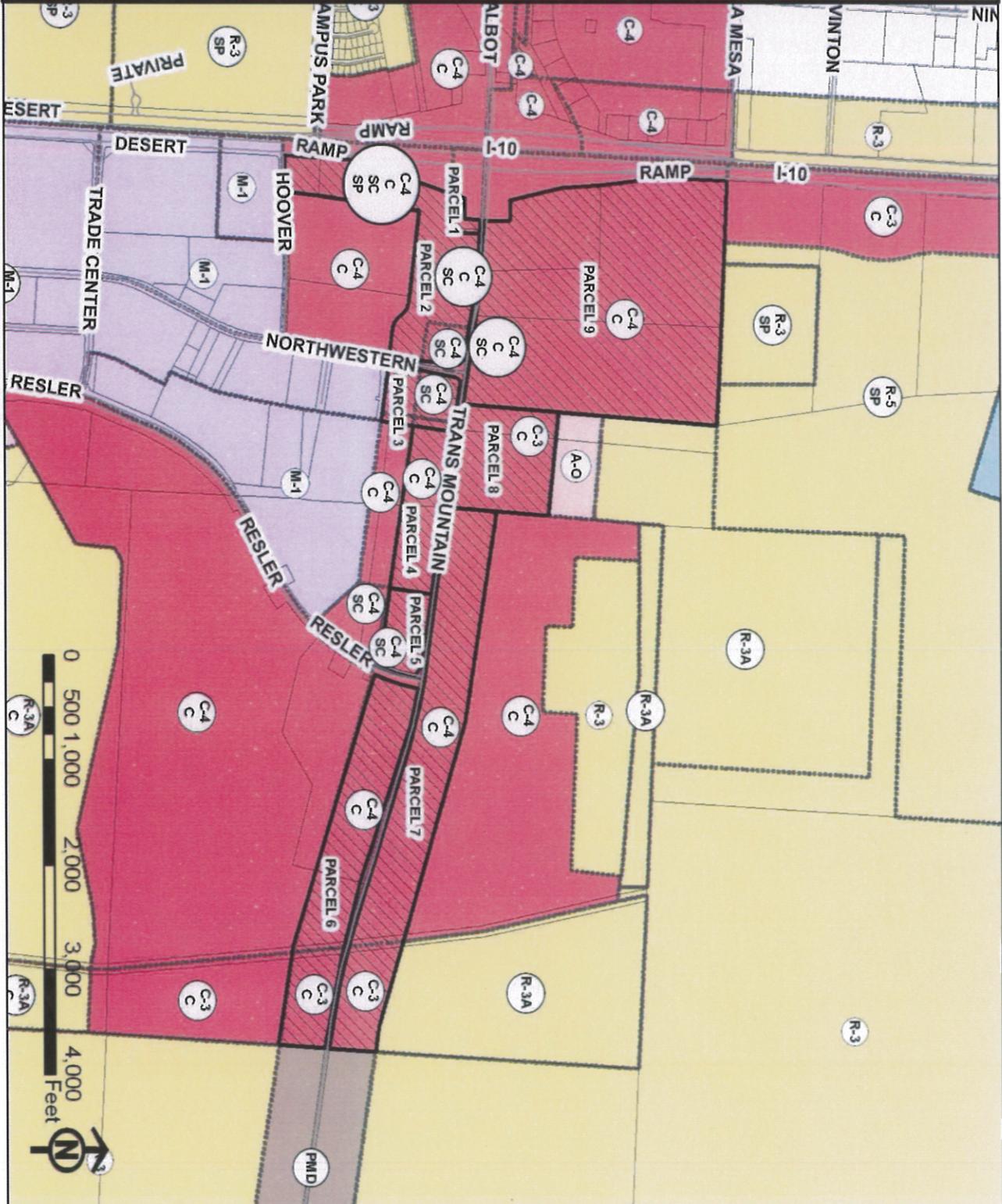
*Ms. Lois Anne Balin requested to have staff from the Subdivisions Section of the Planning and Economic Department provide a training to the OSAB members on how to read a plat.*

12. Adjournment

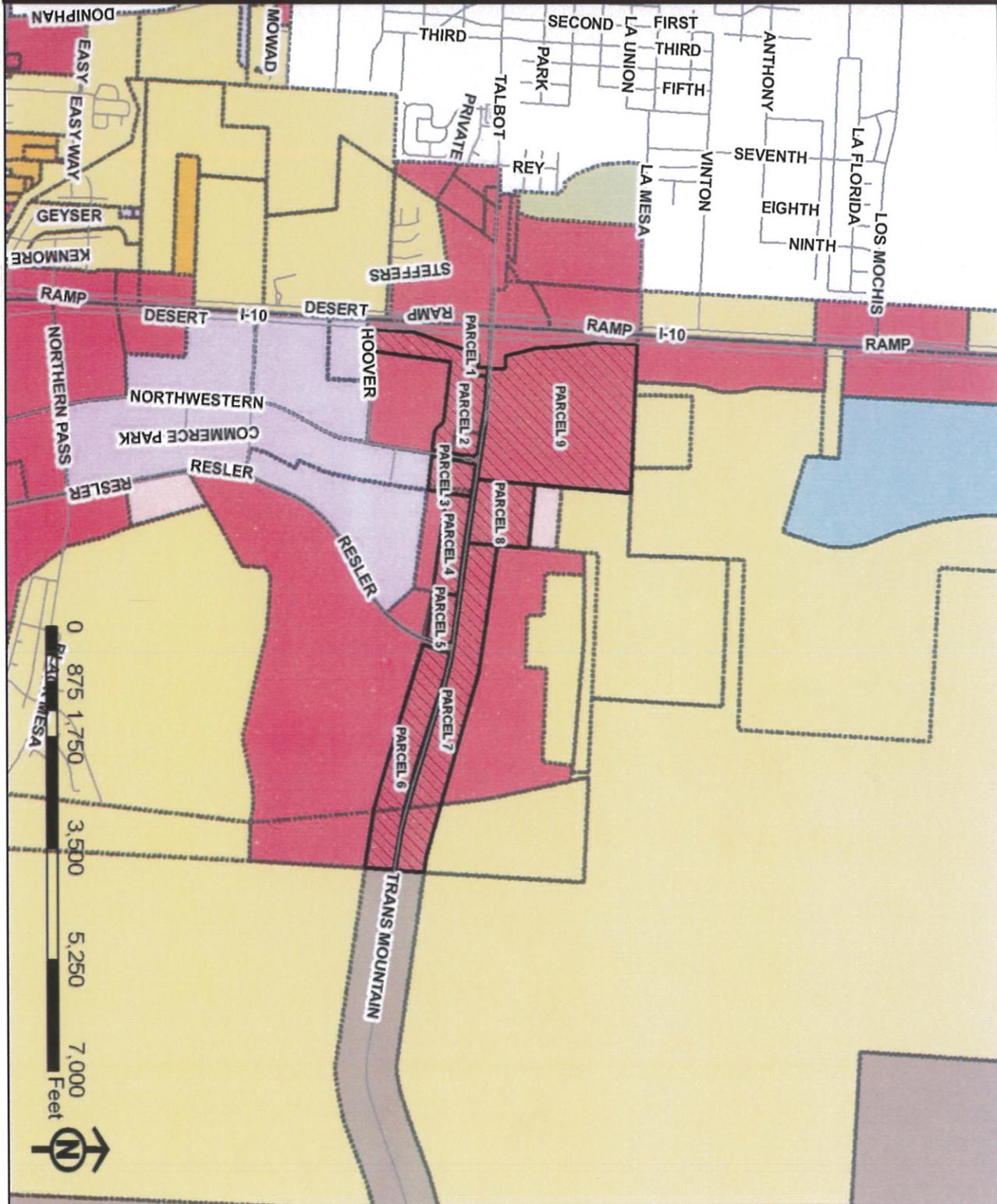
*Motion by Kevin T. v on Finger to adjourn. Second by Robert Ardivino. Motion carried (unanimous).*

Minutes prepared by Donna Martinez, Senior Secretary

# ZON10-00076



# ZON10-00076



ZON10-00076



# ZON10-00076

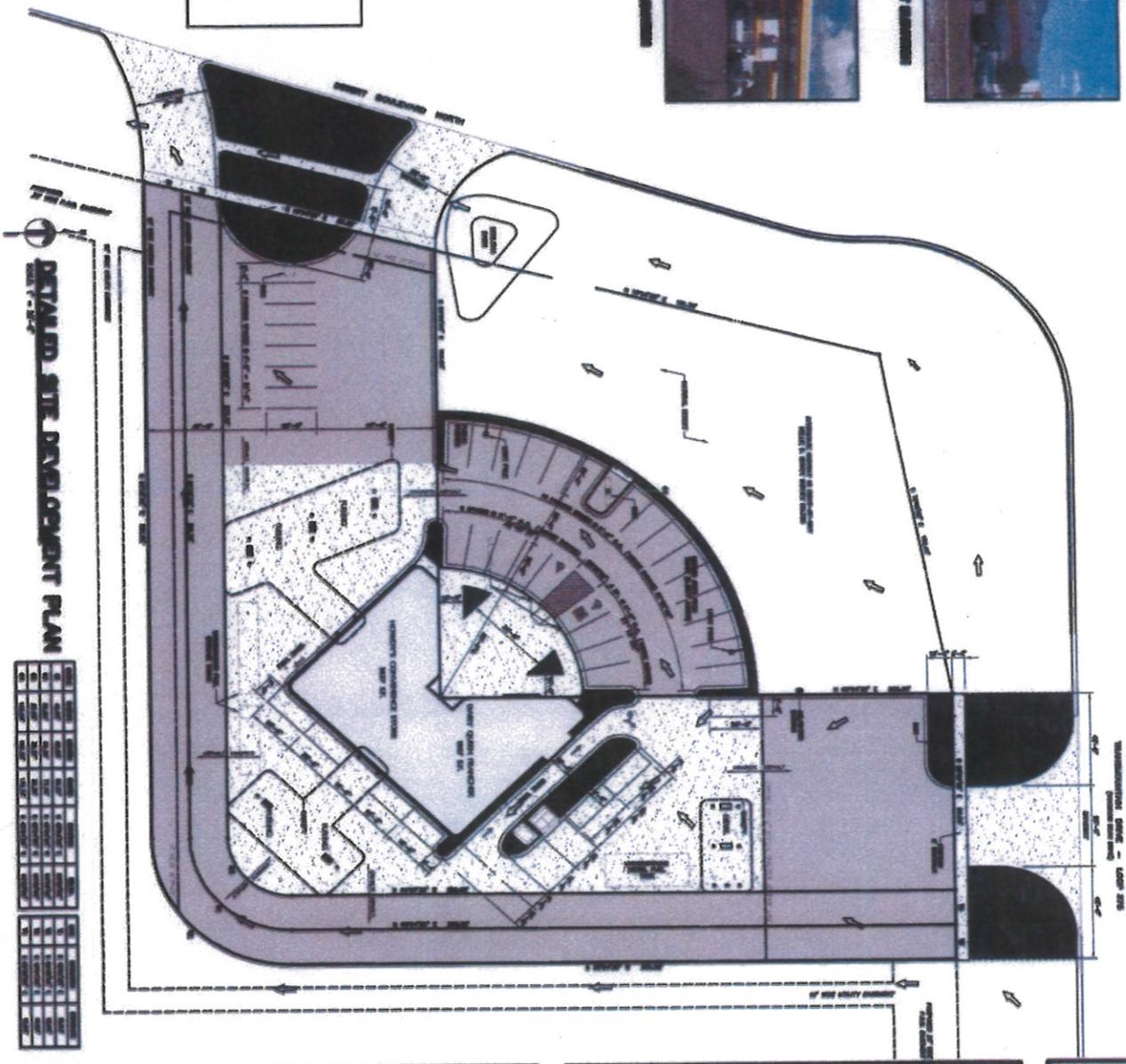


ZON10-00076



<p><b>GENERAL NOTES:</b></p> <p>1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND SPECIFICATIONS.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.</p> <p>3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.</p> <p>4. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY.</p> <p>5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE PROJECT.</p> <p>6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p> <p>7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.</p> <p>8. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY.</p> <p>9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE PROJECT.</p> <p>10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.</p>	<p><b>LEGEND:</b></p> <p>1. ASPHALT DRIVEWAY</p> <p>2. ASPHALT DRIVEWAY</p> <p>3. ASPHALT DRIVEWAY</p> <p>4. ASPHALT DRIVEWAY</p> <p>5. ASPHALT DRIVEWAY</p> <p>6. ASPHALT DRIVEWAY</p> <p>7. ASPHALT DRIVEWAY</p> <p>8. ASPHALT DRIVEWAY</p> <p>9. ASPHALT DRIVEWAY</p> <p>10. ASPHALT DRIVEWAY</p>
--	--

<p><b>LEGEND:</b></p> <p>1. ASPHALT DRIVEWAY</p> <p>2. ASPHALT DRIVEWAY</p> <p>3. ASPHALT DRIVEWAY</p> <p>4. ASPHALT DRIVEWAY</p> <p>5. ASPHALT DRIVEWAY</p> <p>6. ASPHALT DRIVEWAY</p> <p>7. ASPHALT DRIVEWAY</p> <p>8. ASPHALT DRIVEWAY</p> <p>9. ASPHALT DRIVEWAY</p> <p>10. ASPHALT DRIVEWAY</p>
--



**DETAILED SITE DEVELOPMENT PLAN**

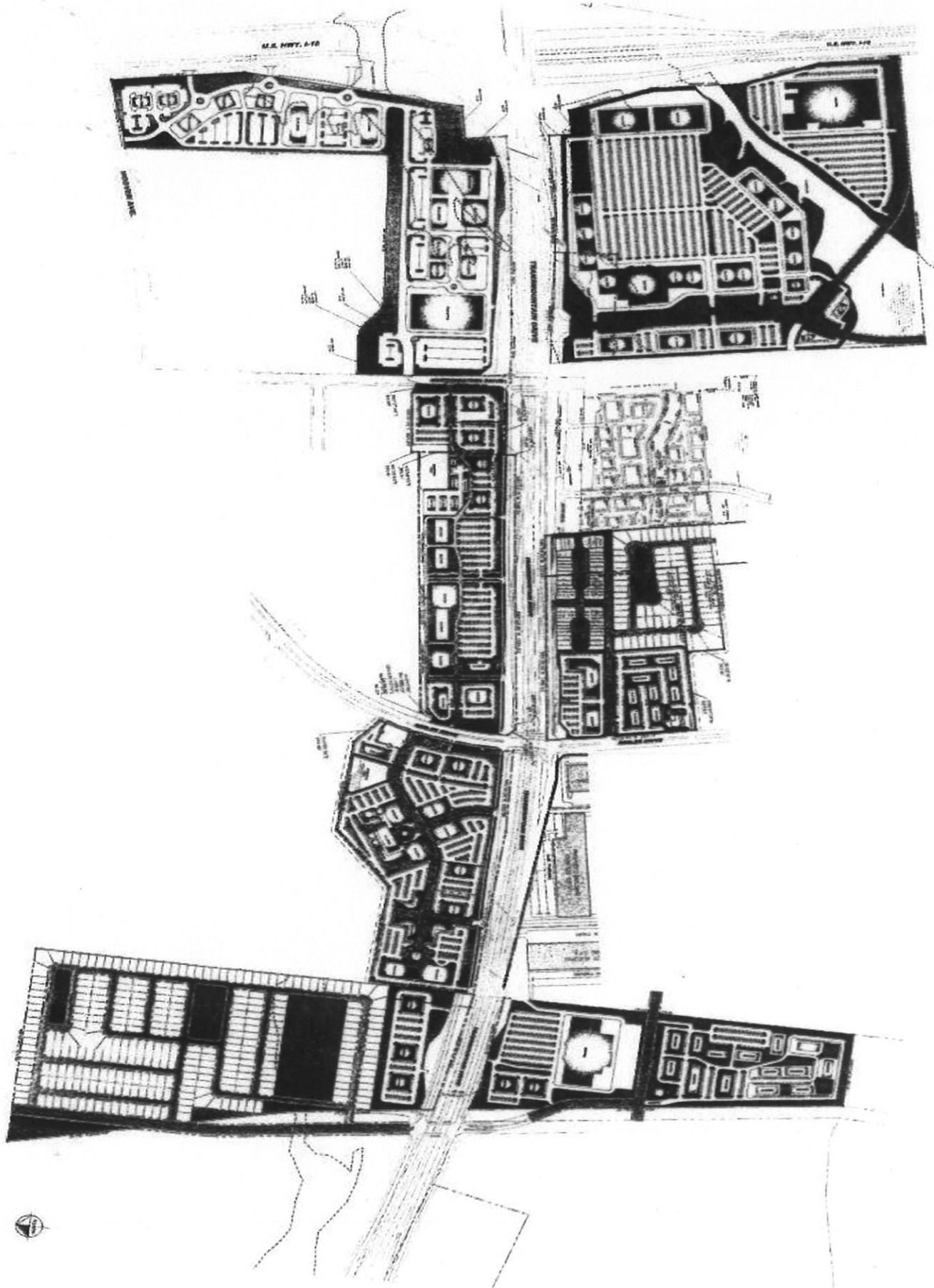
NO.	DESCRIPTION	AMOUNT	UNIT
1	ASPHALT DRIVEWAY	10,000	SQ. FT.
2	ASPHALT DRIVEWAY	10,000	SQ. FT.
3	ASPHALT DRIVEWAY	10,000	SQ. FT.
4	ASPHALT DRIVEWAY	10,000	SQ. FT.
5	ASPHALT DRIVEWAY	10,000	SQ. FT.
6	ASPHALT DRIVEWAY	10,000	SQ. FT.
7	ASPHALT DRIVEWAY	10,000	SQ. FT.
8	ASPHALT DRIVEWAY	10,000	SQ. FT.
9	ASPHALT DRIVEWAY	10,000	SQ. FT.
10	ASPHALT DRIVEWAY	10,000	SQ. FT.

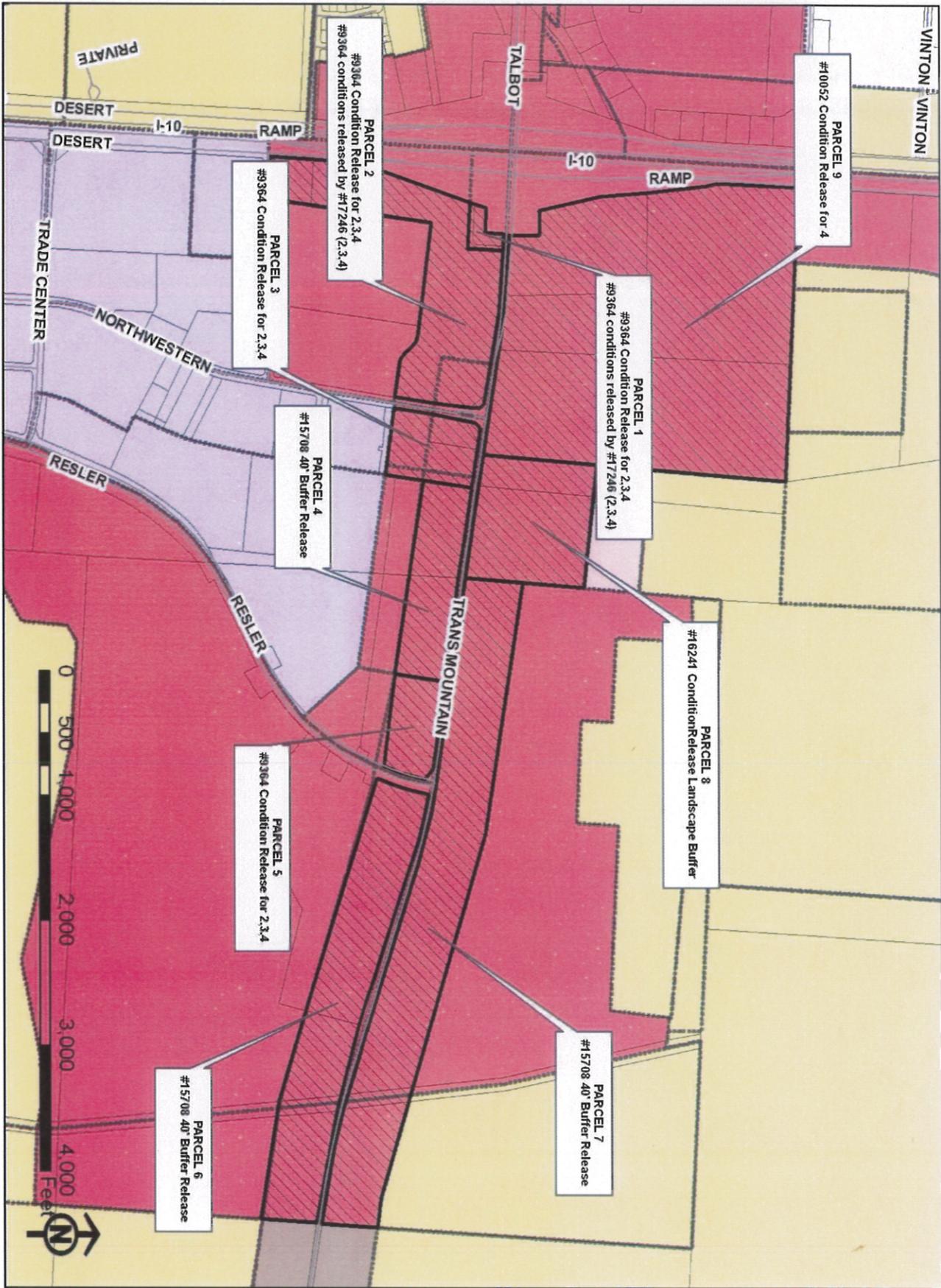
DATE: 10/1/00  
 DRAWN BY: A-1  
 CHECKED BY: A-1

**TRANSMOUNTAIN OIL CO.**  
 HIGH QUALITY OILS  
 215.774.7282  
 EL PASO, TEXAS

**DETAILED SITE DEVELOPMENT PLAN**  
 FOR  
**HOWDY'S CONVENIENCE STORE**  
 EL PASO, TEXAS

10000







Release conditions 2, 3 and 4 imposed by Ordinance 9364 dated 26 April 1988.

Parcel; 1, 2,3

2. First Party shall contribute money toward the construction of two (2) entrance/exit ramps at the south side of Aircraft Road and Interstate 10 in El Paso in accordance with the following provisions:

3. Prior to final approval of any subdivision plats in parcel 2, the first party must dedicate a fire station site to second party. The fire station site must have one hundred seventy five (175) feet of frontage on the proposed Resler Drive at an intersection with a dedicated side street and a depth of one hundred fifty eight (158) feet. The exact location of the site shall be determined by the El Paso Fire Department and First Party. Unless otherwise agreed by both parties, the dedication of the site shall be by metes and bounds, subject to the approval of this exception by the Planning Commission and City Council. It is understood and agreed that the legal description of the site might shift, depending on the final development of the subdivision of which the site will be a part, thereby requiring an amendment of this Special Contract and such amendment may occur with the approval of the El Paso Fire Department and without any necessity of going back to the Planning Commission and to City Council.

4.

A 75-foot wide Special Building Setback Line (S.B.S.L.) shall be established along the north portions of parcels 1C, 2A, 6 and 6A, adjacent to Woodrow Bean Transmountain Drive. In addition, First Party must landscape the S.B.S.L. area in accordance with the landscaping plan, which is on file with the Department of Planning, Research and Development, prior to the issuance of any building permits for said parcels.





Release the following Condition imposed by Ordinance 15708 dated March 2, 2004:

Parcel: 4,6,7

*A forty (40) foot wide buffer shall be required abutting Loop 375 right-of-way and any future frontage roads. Within this forty (40) foot buffer, a minimum twenty-five (25) foot landscaped area to include a twelve (12) foot bike trail, except for any ingress or egress access locations, shall be required. The additional fifteen (15) foot buffer can include the requirements of Chapter 20.65 of the El Paso Municipal Code. This forty (40) foot buffer shall be developed in accordance with the plan identified in the attached Exhibit "B" and shall be completed prior to the issuance of any certificates of occupancy.*

**The following condition is to remain:**

*A ten (10) foot wide landscaped buffer to include, but not limited to, evergreen trees placed at fifteen (15) feet on center shall be required along any property line abutting residential or apartment zoning districts, except where abutting El Paso Natural Gas Company right-of-way. This shall be in addition to the landscaping requirements of Chapter 20.65 of the El Paso Municipal Code and shall be required prior to the issuance of any building permits.*



Release Landscape condition imposed by Ordinance 16241:

Parcel: 8

*A forty (40) foot wide buffer shall be required abutting Loop 375 right-of-way and any future frontage roads. Within this forty (40) foot buffer, a minimum twenty-five (25) foot landscaped area to include a twelve (12) foot bike trail, except for any ingress or egress access locations, shall be required. The additional fifteen (15) foot buffer may satisfy the requirements of Chapter 20.65 of the El Paso Municipal Code. This forty (40) foot buffer shall be developed in accordance with the plan identified in the attached Exhibit "B" and shall be constructed prior to the issuance of any certificates of occupancy.*

Release Condition No. 4 imposed by Ordinance 010052 dated 17 April 1990.



1. Prior to the issuance of any building permits, a detailed site development plan must be approved by the City Plan Commission and by the Mayor and City Council.
2. Prior to the issuance of any building permits, a subdivision plat must be filed of record with the County Clerk. If the property is developed in phases, each phase must be subdivided.
3. Prior to the issuance of any building permits, a traffic impact study of the proposed development must be submitted to the City Traffic and Transportation Department. The traffic study must show traffic generation and distribution for the time period covered by each phase of construction.
4. A 75-foot wide special building setback (S.B.S.L.) line shall be established adjacent to Woodrow Bean Trans-Mountain Drive until such time as the property owner dedicates the required right-of-way to the City for the widening of this roadway. This 75-foot wide S.B.S.L. shall not be graded or developed so that the natural vegetation and top soil remain in tact except for necessary driveways and streets.  
In addition, no building or off-premise signs shall be located closer than 75 feet to the proposed 75-foot wide S.B.S.L. except for parking, on-premise signs and necessary walks and drives.  
Within this 75-foot additional setback, a 20-foot wide landscaped area shall be provided adjacent to the S.B.S.L.



**COMMENTS**

**BP&I:**

Plan Review has no objections to the release of Conditions

**Fire:**

El Paso Fire Department has no objections to release of conditions.

**Sun Metro:**

Sun Metro does not oppose this request.

**Land Development-Engineering and Construction Management:**

1. Due to the subdivision being within an area in a Special Flood Hazard Area (AH, A2, B) applicant shall coordinate with Floodplain Coordinator for the requirements and compliance of Special Flood Hazard Area.
2. ADA accessible Sidewalks, Wheel-chair ramp(s), and Driveway(s) will be required. \*
3. Grading plan and permit shall be required. \*
4. Storm Water Pollution Prevention Plan and/or permit required. \*
5. Drainage plans must be approved by the Development Services Department, Engineering Section. \*
6. Coordination with TXDOT
7. The Subdivision is within Flood Zone AH- " Areas of 100-year shallow flooding where depths are between 1 and 3 feet, base flood elevations are shown", within Flood Zone A2 " Areas of 100-year flood, base flood elevations and flood hazard determined", within Flood Zone C - "Areas of minimal flooding, (No shading)." - Panels # 480214 0011C, 480214 0012C, 480214 0016C, and 480214 0017C, dated February 5, 1986.

\* This requirement will be applied at the time of development.



## Proposed Conditions

Proposed language for zoning condition along Transmountain:

The following conditions shall apply to all properties abutting or within 100 feet of the ROW line:

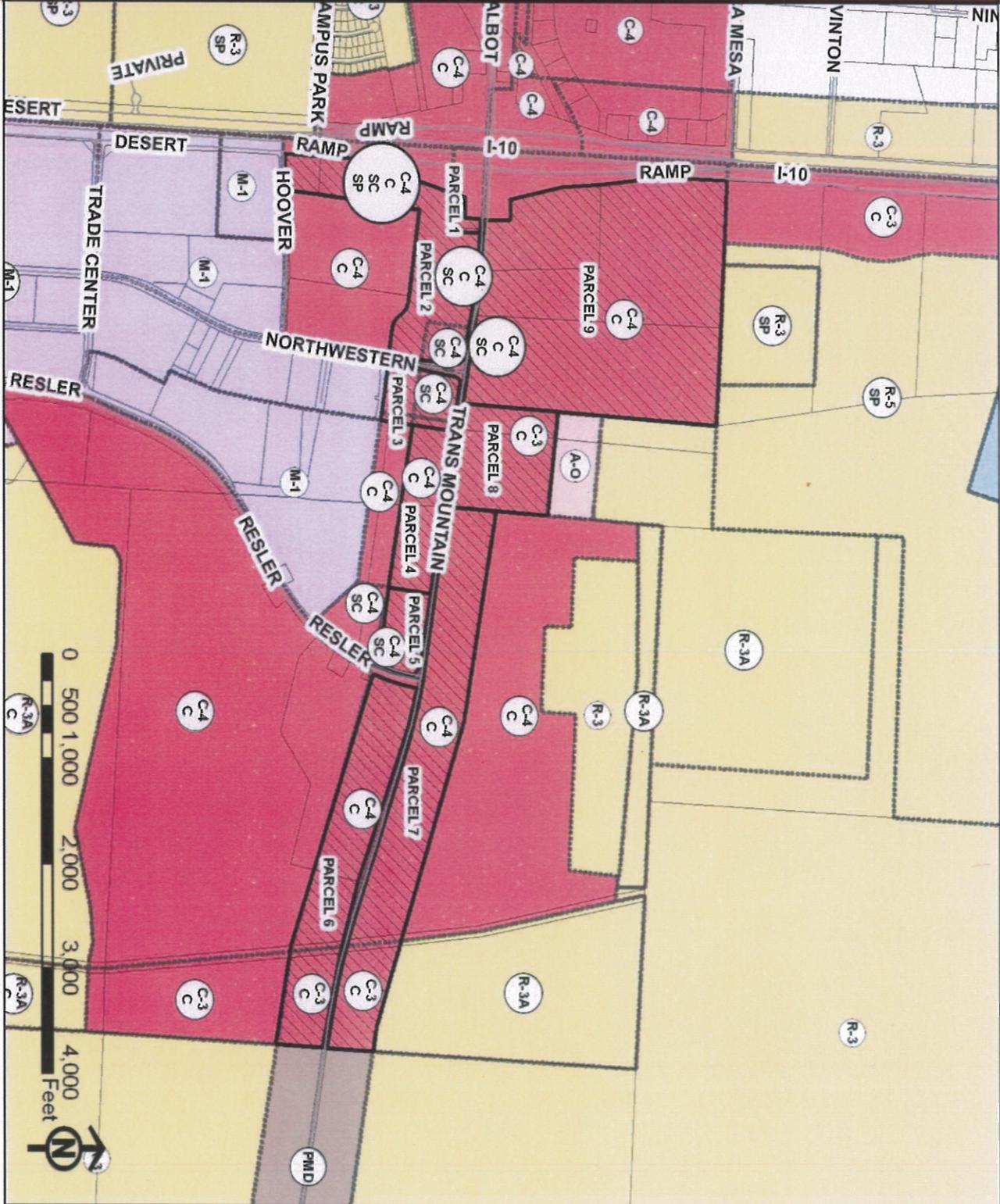
1. A detailed site development plan shall be approved per city code prior to the issuance of building permits.
2. Prior to the issuance of a certificate of occupancy, the applicant shall install a 15 foot landscape buffer along the Right of Way (ROW) line. The 15 foot landscape buffer shall include a tree species approved by the Deputy Director for Development Services – Planning spaced 30 feet on center and staggered from those installed by the Texas Department of Transportation. The landscape buffer shall also include drought tolerant plants spaced at intervals approximating the Resler hike and bike trail and as detailed in the Detailed Site Development Plan.
3. The landscape buffer shall be irrigated per Title 18 of the city code.
4. The following signage standards shall also apply to all lots within 100 feet of the ROW line.
  - a. The following standards shall apply to lots larger than 5 acres.
    - i. Only monument signs shall be permitted and signs shall have a 100 percent width base constructed of unpainted brick or stone.
    - ii. No more than 2 (two) monument signs will be permitted per lot, except that 1 (one) monument sign in addition shall be permitted at each driveway entrance permitted by TXDOT provided that driveways are spaced at least 300 feet apart.
    - iii. No digital (LED or other technology) signs are permitted except that digital price signs may be permitted at gasoline stations.
    - iv. Signs, excluding the base, shall not exceed 250 sqft in area and shall not exceed 20 feet in height.
    - v. All pole and outparcel signs are prohibited.
    - vi. All other sign regulations pertaining to wall and canopy signs shall remain in effect.
  - b. The following standards shall apply to lots less than 5 acres.
    - i. Only monument signs shall be permitted and signs shall have a 100 percent width base constructed of unpainted brick or stone.
    - ii. No more than 1 monument sign will be permitted per lot.
    - iii. No digital (LED or other technology) signs are permitted except that digital price signs may be permitted at gasoline stations.
    - iv. Signs, excluding the base, shall not exceed 150 sqft in area and shall not exceed 20 feet in height.
    - v. All pole and outparcel signs are prohibited.
    - vi. All other sign regulations pertaining to wall and canopy signs shall remain in effect.
5. The landscape buffer shall be included in the calculation for required commercial landscaping. However, the conditions here shall serve as a minimum and in no case shall the landscape buffer be reduced to comply with a lower landscape standard required by Title 18.

6. Vegetation and Re-vegetation shall apply for any improvements on site requiring any City building permit as follows:

- a. Vegetation and re-vegetation shall be required on all disturbed areas and shall be irrigated if necessary. If in the course of construction of buildable areas, non-buildable areas are disturbed, the developer shall restore the formerly undisturbed areas through the replanting of appropriate native, adaptive and drought tolerant re-vegetation to mitigate soil erosion. For purposes of this requirement, appearance features which are compatible with the area shall be allowed when approved by the Deputy Director for Development Services - Planning.
  - b. Existing natural vegetation on the property shall be retained in its natural state, except where necessary for the construction of subdivision improvements and buildings or to replace or improve undesirable vegetation.
  - c. To ensure proper revegetation, the following reports shall be required.
    - i. Vegetation Preservation and Protection Report. A vegetation preservation and protection report containing all of the following information:
      1. General description of existing vegetation and proposed use of new vegetation;
      2. The vegetation to be removed and method of disposal;
      3. The vegetation to be planted;
      4. Slope stabilization measures to be installed.
  - d. Revegetation and approval of all submitted reports shall be completed prior to the issuance of any certificates of occupancy.
  - e. In no case shall the revegetation requirement apply to required landscaping or reduce the required landscape buffer in condition 2 above.
7. The following conditions shall only apply to a portion of Lot 1, Block 6, Westport Unit Five (Transmountain Oil Parcel) that fronts Transmountain Drive-Loop 375:
- a. Adjacent to Transmountain Drive, only monument signs shall be permitted and signs shall have a 100 percent width base constructed of unpainted brick or stone.
  - b. No more than 1 monument sign will be permitted adjacent to Transmountain Drive right of way.
  - c. No digital (LED or other technology) signs are permitted except that digital price signs may be permitted at gasoline stations.
  - d. Signs, excluding the base, shall not exceed 150 sqft in area and shall not exceed 20 feet in height, adjacent to Transmountain Drive right of way.
  - e. All pole and outparcel signs are prohibited adjacent to Transmountain Drive right of way.
  - f. All other sign regulations pertaining to wall and canopy signs shall remain in effect.
8. Signage requirements for portions of property adjacent to Desert North Boulevard/1-10 right of way shall be governed by the applicable provisions of the El Paso Municipal Code, as amended from time to time.



# ZON10-00076





## City of El Paso – City Plan Commission Staff Report

**Case No:** SUB10-00181 Kern View Estates Unit Two  
**Application Type:** Resubdivision Combination  
**CPC Hearing Date:** September 23, 2010  
**Staff Planner:** Michelle Padilla, 915-541-4903, [padillamx@elpasotexas.gov](mailto:padillamx@elpasotexas.gov)  
**Location:** East of Stanton Street and North of San Mateo Lane  
**Legal Description Acreage:** 15.56 acres  
**Rep District:** 1  
**Existing Use:** Vacant  
**Existing Zoning:** P-R1/c (Planned Residential/condition) & R-3 (Residential)  
**Proposed Zoning:** P-R1/c (Planned Residential/condition) & R-3 (Residential)  
**Nearest School:** Mesita Elementary (0.81 mile)  
**Nearest Park:** Alethea Park (0.44 mile)  
**Parkland Fees Required:** \$34,250  
**Property Owner:** Piedmont Group, L.L.C.  
**Applicant:** Piedmont Group, L.L.C.  
**Representative:** CEA Group

### **SURROUNDING ZONING AND LAND USE**

**North:** PMD (Planned Mountain Development)/ Vacant  
**South:** R-3 (Residential) and PMD (Planned Mountain Development)/ Single-family development  
**East:** PR-I/sc (Planned Residential/special contract)/ Single-family development  
**West:** R-3 (Residential)/ Single-family development

**THE PLAN FOR EL PASO DESIGNATION:** Residential

### **APPLICATION DESCRIPTION**

The applicant is proposing 25 single-family residential lots and 5.09 acres of private open space. The smallest lot measures 8,428 square feet and the largest measures 34,525 square feet in size. Primary access to the subdivision will be from Piedmont Drive. A 20-foot wide utility easement is also proposed to be vacated by the plat. The easement is located in the northwestern section of the plat and runs through Lots 15A, 15B, 16A, and 16B.

The applicant has been granted a vested rights petition in whole making the development subject to the subdivision requirements in effect prior to June 1, 2008.

The applicant is requesting that the following, previously approved, modifications be upheld:

1. A modification to allow for a 44' ROW cross-section including 5-foot sidewalks abutting the curb and 5-foot parkways.
2. A modification to allow for a 24' ROW allowing no sidewalks and 20' of pavement.

In addition, the applicant is requesting that the following modification be granted:

1. To allow for 14 parking spaces within the eyebrow and cul-de-sac in order to comply with the condition set forth by the City Plan Commission.

The applicant is proposing cul-de-sac that measures approximately a 1,470 feet in length which exceeds the 750' maximum length for cul-de-sacs. Under Section 19.16.020.D(5) of the former code, Streets, *the maximum length of a cul-de-sac shall be 750 feet, except that a length of up to 2000 feet may be approved by the city plan commission provided that the applicant meet certain requirements.* This section provides for the city plan commission to grant the approval as part of their formal motion and does not require a modification request. One of the requirements the applicant needs to meet is to fire sprinkler all lots in excess of 1000 feet. The applicant has placed a note on the plat stating all homes within the plat will be fire sprinklered.

### **CASE HISTORY**

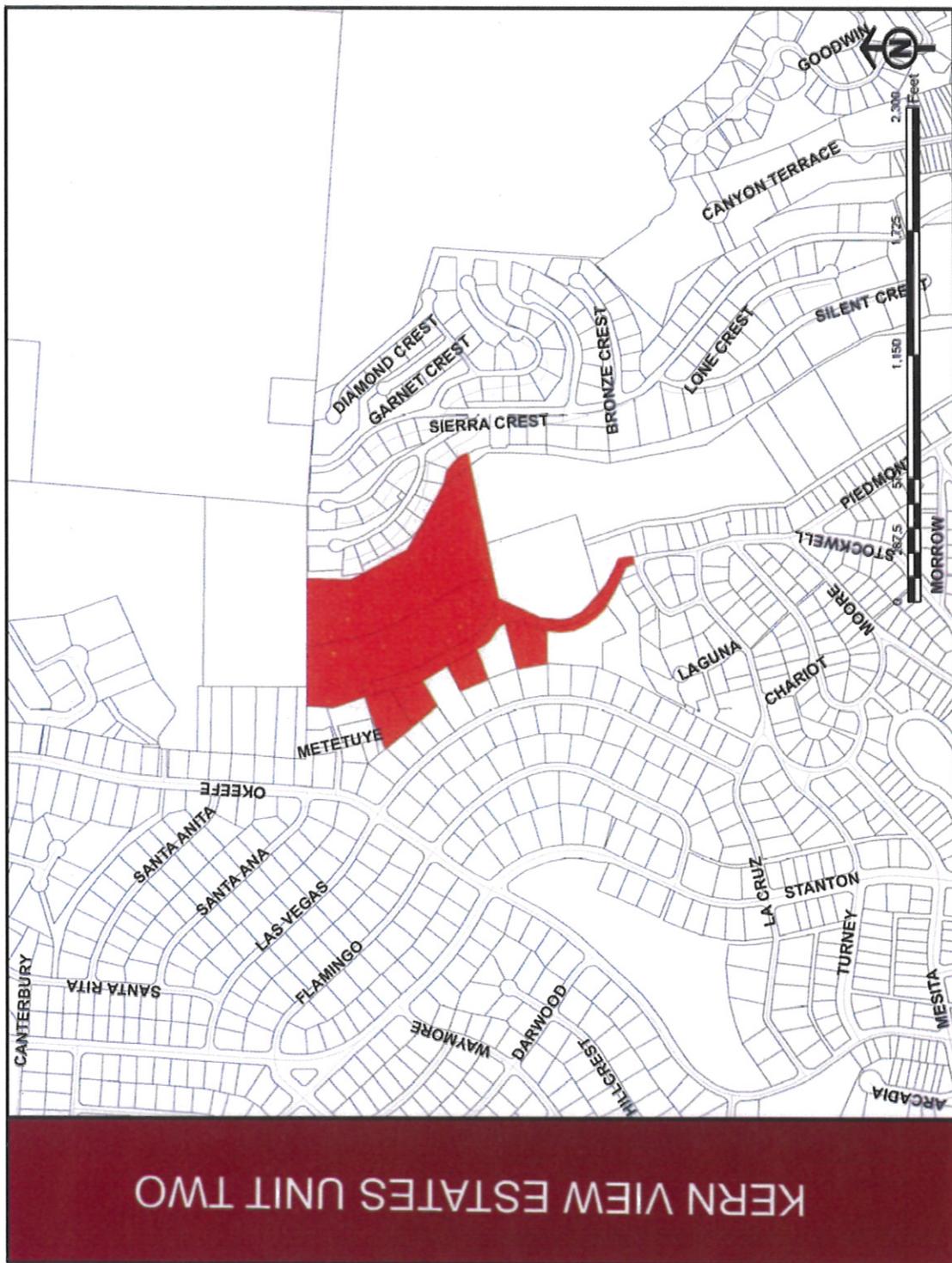
On July 30, 2009, the City Plan Commission approved Kern View Estates Unit Two on a Resubdivision Preliminary basis and approved the requested modifications under reason three with the condition that the applicant provides a minimum of 10 guest parking spaces in the upper residential portion of the development.

On May 11, 2010, the applicant received approval by City Council for a detailed site plan for this area. The plat is in conformance with the approved detailed site plan.

### **Attachments**

1. Location Map
2. Aerial
3. Preliminary Plat
4. Final Plat

ATTACHMENT 1



ATTACHMENT 2





